

# CULPEPER COUNTY OPTIONS ADDITION

## CULPEPER COUNTY, VIRGINIA

### BG 24-2009



FOR CONSTRUCTION

#### NOTICE TO CONTRACTOR & ALL TRADES

ALL TRADES SHALL BE RESPONSIBLE FOR THE CONTENTS CONTAINED HEREIN, AND FOR THE INFORMATION REPRESENTED ON ALL SHEETS. THESE CONSTRUCTION DOCUMENTS HAVE BEEN PRODUCED WITH THE INTENTION OF BEING USED AS A SINGULAR TOOL FOR THE CONSTRUCTION OF THIS PROJECT. NO SINGLE DRAWING WILL STAND ALONE, AND AT NO TIME WILL THE ARCHITECT OR OWNER BE RESPONSIBLE FOR ACTIONS TAKEN BY A CONTRACTOR OR SUBCONTRACTOR WHO HAS NOT REVIEWED, AND IS NOT IN POSSESSION OF A FULL WORKING SET OF DOCUMENTS. BE ADVISED, THERE MAY BE NOTES ON A DRAWING FOR ONE SPECIFIC TRADE THAT WILL PERTAIN TO THE WORK OF OTHER TRADES. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE CLEAR COMMUNICATION BETWEEN ALL TRADES, AND THAT ALL WORKERS HAVE ADEQUATELY REVIEWED ALL DRAWINGS AND LOCATED ALL WORK THAT WOULD FALL UNDER THEIR RESPONSIBILITY.

#### GENERAL NOTES

BUILDING PERMIT BY GENERAL CONTRACTOR.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SHORING, BRACING & WEATHER PROTECTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROTECTION AND BARRICADING OF PUBLIC AREAS AND NEIGHBORING PROPERTIES.

CONTRACTOR SHALL COMPLY WITH ALL PERTINENT RULES, REGULATIONS, ORDINANCES, AND LAWS MANDATED BY LOCAL STATE, AND FEDERAL AGENCIES.

PRIOR TO CONSTRUCTION, EXAMINE ALL PROJECT SPECIFICATIONS, DRAWINGS, AND VISIT THE SITE TO DEVELOP A COMPLETE UNDERSTANDING OF THE PROJECT SCOPE. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM ALL WORK REQUIRED FOR A COMPLETE INSTALLATION. UPON REVIEW OF THESE DOCUMENTS, ADVISE THE ARCHITECT IN A TIMELY MANNER OF ANY DISCREPANCIES WHICH WILL EFFECT THE WORK REQUIRED SO THAT THE ARCHITECT MAY PROVIDE DIRECTION PRIOR TO BEGINNING AFFECTED WORK.

#### CODE INFORMATION - (2018 VBEC)

##### PROJECT DESCRIPTION

SCOPE OF PROJECT INCLUDES A NEW (1) STORY, 720 SF BUILDING ADDITION FOOTPRINT WITH BASEMENT OR ALTERNATE CRAWL SPACE.

##### BASIC BUILDING PLANNING

USE GROUP: B  
CONSTRUCTION TYPE: 5B, NO SPRINKLER

BUILDING LIMITATIONS (TABLES 504.3, 504.4 & 506.2):  
B USE: 40 FT, 2 STORY, 9,000 SF

PROJECT W/ ADDITION ACTUAL HEIGHT & AREA:  
32' GRADE PLANE TO TOP ROOF, (2) STORY, 1,560 SF

506.3 FRONTAGE INCREASE: NOT TAKEN

508.3 NON-SEPARATED SINGLE OCCUPANCY

T601 - FIRE RATING FOR BUILDING ELEMENTS: 0  
T602 - EXTERIOR WALLS (0) HR. >10' SEPARATION

CHAPTER 8 INTERIOR FINISHES: INTERIOR WALLS, CEILINGS, & FLOORS SHALL COMPLY WITH VCC CHAPTER 8.

##### CHAPTER 9 FIRE PROTECTION SYSTEMS

903 AUTOMATIC SPRINKLER SYSTEM [NR]  
906 FIRE EXTINGUISHERS - PROVIDE PER 906 & IFC  
907.2.2 FIRE ALARM [NR]

##### CHAPTER 10 MEANS OF EGRESS

1004 OCCUPANCY LOADS: SEE FLOOR PLAN FOR INDIVIDUAL ROOMS. OCCUPANCY SHOWN BELOW IS MAXIMUM COMBINED BY FLOOR.

BASEMENT = 14  
1ST FLOOR = 45  
2ND FLOOR = 8  
TOTAL = 67  
BUILDING OCCUPANCY = 49

T1020.1 CORRIDORS (0) RATING WHERE OCCUPANT LOAD SERVED IS LESS THAN 30.

CHAPTER 22 MINIMUM PLUMBING FIXTURES BASED ON MAX. OCCUPANCY OF 49 TOTAL BUILDING OCCUPANTS.

	REQUIRED	PROVIDED
WC	2	2
LAV	2	2
DF	1 HI / LOW	1 HI / LOW
SS	1	1

ASSUMED MINIMUM SOIL BEARING CAPACITY - 2,000 PSF

GEOTECHNICAL REPORT NOT AVAILABLE.

#### CODE INFORMATION (CONTINUED)

##### CHAPTER 17 SPECIAL INSPECTIONS (NOT REQUIRED - 1704 EXCEPTION 2.1)

DESIGN LOADS  
BUILDING RISK CATEGORY - II (TABLE 1604.5)

ADDITION LIVE LOADS  
BASEMENT = 150 PSF  
1ST FLOOR = 40 PSF  
ROOF = 30 PSF

SNOW LOADS  
PG = 30 PSF GROUND SNOW  
Ce = 1.0 SNOW EXPOSURE FACTOR  
Ct = 1.0 THERMAL FACTOR  
Is = 1.0 IMPORTANCE FACTOR  
Pf = 25 FOR SLOPED ROOFS

WIND LOADS  
Vult = 115 MPH  
Vosd = 89 MPH  
EXPOSURE B  
Kd = 0.85  
Kzt = 1.0  
GCPI = 0.18±

ASCE 7-10

##### SEISMIC LOADS

LATERAL FORCE RESISTING SYSTEMS USING EQUIVALENT FORCE PROCEDURE  
Ie = 1.0  
Cs = 0.073  
SEISMIC SITE CLASS = D (ASSUMED)  
SEISMIC DESIGN CATEGORY = B  
BASIC STRUCTURAL SYSTEM = BEARING WALL SYSTEM (CONCRETE SHEAR WALLS)  
Ss = 18.0%G Sms = 28.8%G  
S1 = 6.80%G Sml = 16.32%G  
F0 = 1.60 Sds = 19.2%G  
Fv = 2.40 Sd1 = 10.88%G

SEE DRAWINGS FOR BUILDING ENVELOPE & STRUCTURAL SYSTEMS & MATERIALS

##### MEP COORDINATION NOTE

PLUMBING, ELECTRICAL, & HVAC SYSTEMS ARE TO BE CONSTRUCTED AS COMPLETE, COORDINATED DESIGN / BUILD SYSTEMS. AS A MINIMUM THEY SHALL MEET APPLICABLE BUILDING AND LIFE SAFETY CODES UNDER VA USBC 2018 & ANSI A117.1-2009. EACH SYSTEM DESIGNER/INSTALLER MUST COORDINATE WITH THE GENERAL CONTRACTOR AND OTHER PROJECT SUB-CONTRACTORS.

#### BASE BID

BASE BID WORK INCLUDES ALL WORK NECESSARY TO EXAMINE EXISTING CONDITIONS & PROVIDE DEMOLITION & NEW CONSTRUCTION IN AN OCCUPIED FACILITY AS INDICATED BY THE DESIGN INTENT OF THE CONSTRUCTION DOCUMENTS. MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS ARE BEING BID AS COMPLETE, COORDINATED DESIGN / BUILD SYSTEMS. BASE BID SHALL INCLUDE DETAILED DESCRIPTIONS OF THE PROPOSED DESIGN / BUILD SYSTEMS TO INCLUDE PROPOSED EQUIPMENT TYPE, SIZE & MANUFACTURER.

#### BID ALTERNATES

##### BID DEDUCT ALTERNATE #1:

- PROVIDE COST & TIME DEDUCTION TO PROVIDE ALTERNATE CONDITIONED CRAWL SPACE CONCRETE FOUNDATION WALLS WITH 3'-0" x 4'-0" INSULATED EXTERIOR ACCESS DOOR.
- HVAC UNIT AND DUCTWORK TO BE LOCATED IN CRAWL SPACE. PROVIDE MINIMAL CONDITIONING OF CRAWL SPACE.
- IF CRAWL SPACE ALTERNATE IS SELECTED, LOCATE NEW 400A PANEL IN ROOM 101. THICKEN WALL AS REQUIRE FOR NEW RECESSED PANEL. CRAWL SPACE GRADE TO BE 4" HIGHER THAN SURROUNDING EXTERIOR GRADE. PROVIDE 4" STONE DUST OR SAND UNDER 10 MIL VAPOR BARRIER THAT TURNS UP THE EXTERIOR WALLS WITH ALL EDGES SEALED AND TAPED.
- EXTERIOR CRAWL SPACE WALL INSULATION TO BE R-15 WITH VERTICAL R-10 RIGID INSULATION FROM TOP OF CRAWL SPACE FOOTING TO GRADE. MAINTAIN R-19 FIRST FLOOR JOIST INSULATION.
- PROVIDE CONCRETE STEPS & SIDE WALLS TO EXISTING PAD AND DOOR TO ACCESS EXISTING CELLAR LEVEL.

#### WORK BY OTHERS

- DATA CABLING, TELEPHONE, SECURITY, CARD READERS & IT RACKS (SEE PLANS FOR CONDUIT W/ PULL STRING & EMPTY BOXES)
- FURNITURE & FREE-STANDING SHELVING NOT INDICATED IN CONTRACT DOCUMENTS
- ITEMS SPECIFICALLY IDENTIFIED AS "BY OTHERS" OR N.I.C.
- EXTERIOR AND INTERIOR SIGNAGE EXCEPT AS INDICATED.

#### CODE MODIFICATIONS

- REQUEST TO INSTALL A PLUMBED WATER COOLER DISPENSER MEETING THE REACH RANGE REQUIREMENTS FOR PEOPLE WHO USE A WHEELCHAIR AND STANDING PERSONS TO BETTER COMPLY WITH THE 2018 VIRGINIA PLUMBING CODE SECTION 410 INTENT OF PROVIDING FREE, POTABLE DRINKING WATER FOR THE OPTIONS USE POPULATION AND FACILITY SCALE.

#### PROJECT CONTACTS

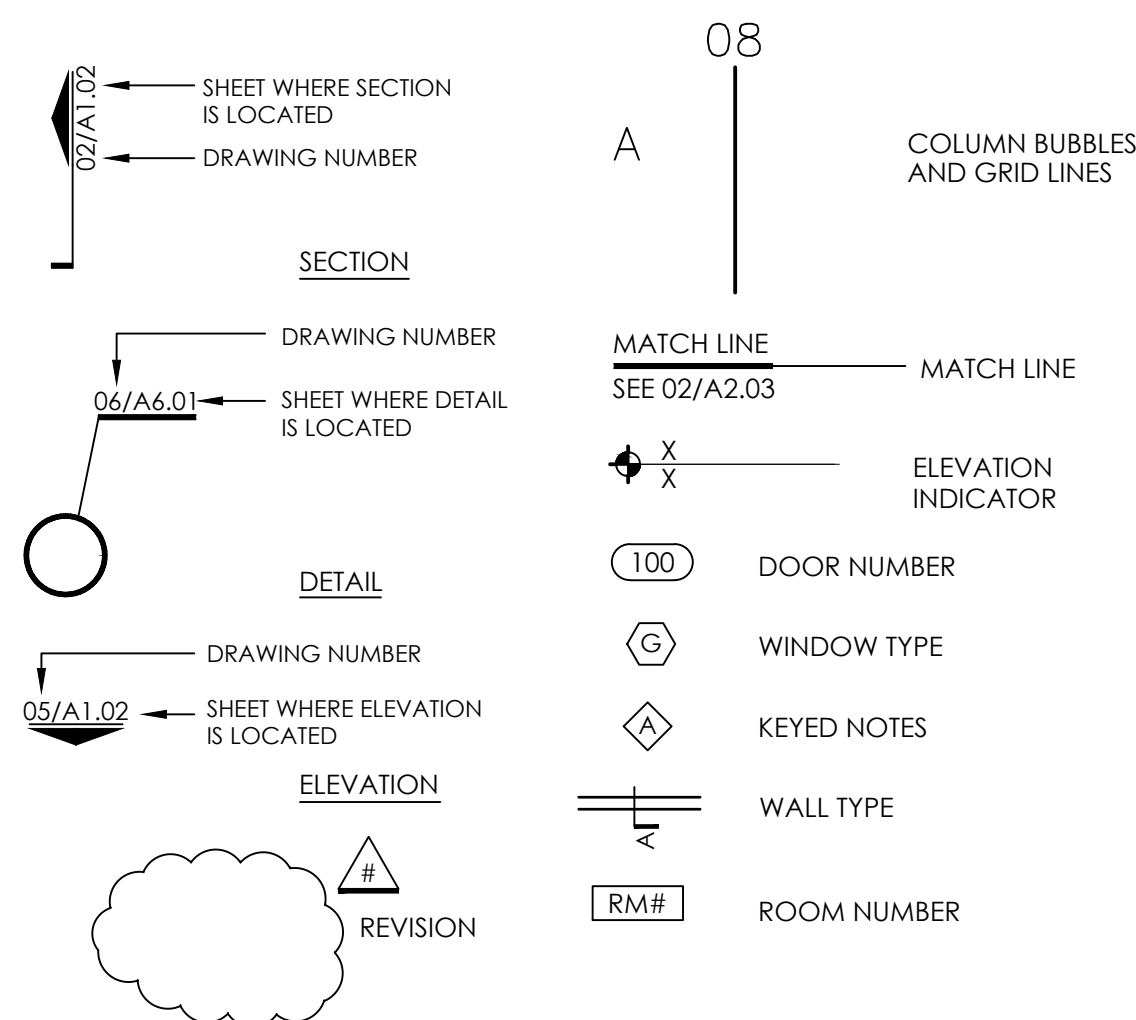
**OWNER**  
COUNTY OF CULPEPER, VIRGINIA  
PAUL HOWARD  
540.727.3409

**ARCHITECT**  
SANDERS ARCHITECTURE, PC  
DEX SANDERS  
540.829.2590

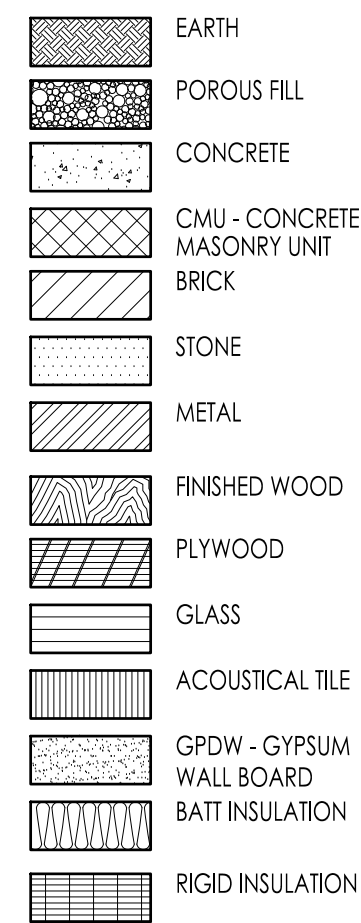


CULPEPER COUNTY OPTIONS  
ADDITION  
13033 JAMES MADISON HIGHWAY  
CULPEPER, VIRGINIA 22701

GENERAL SYMBOLS



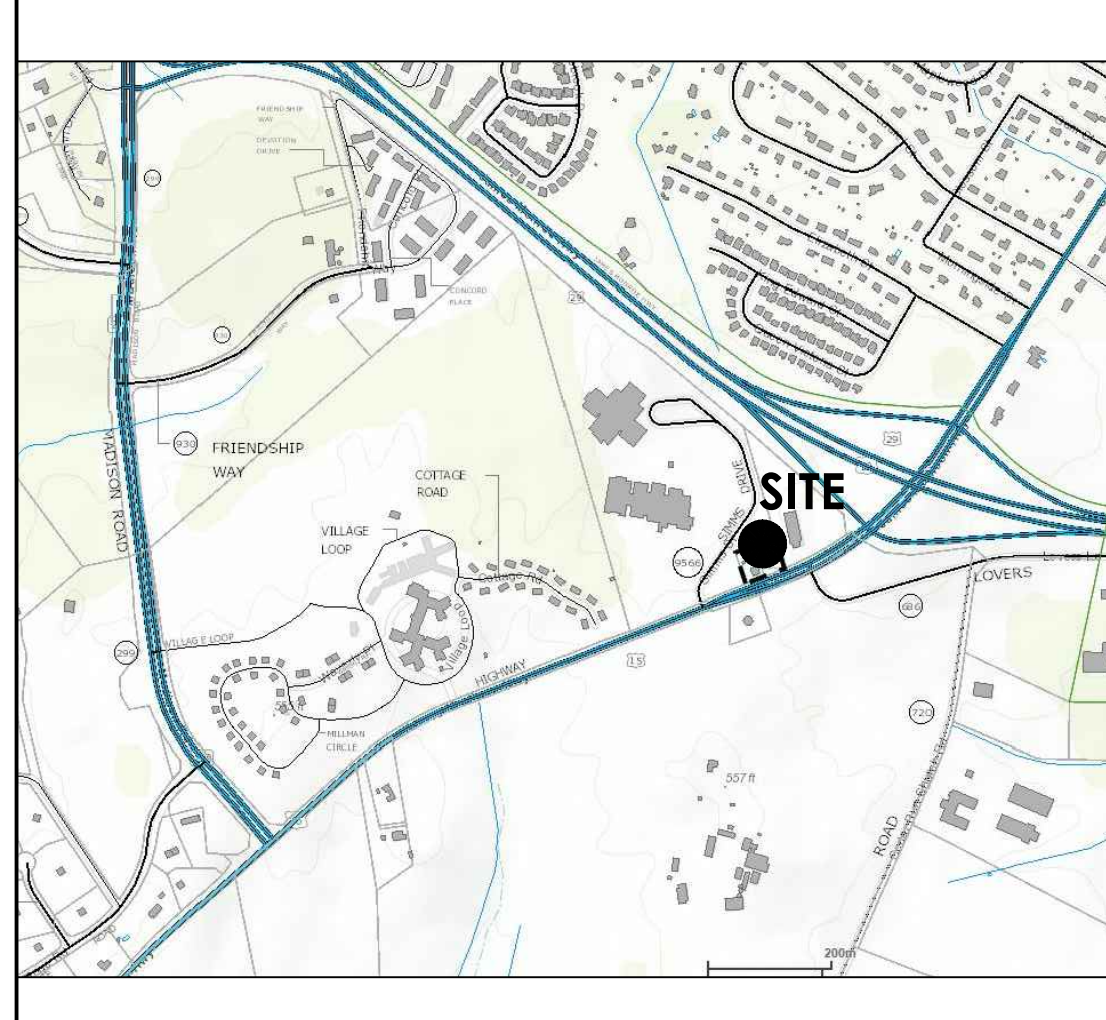
MATERIAL SYMBOLS



ABBREVIATIONS

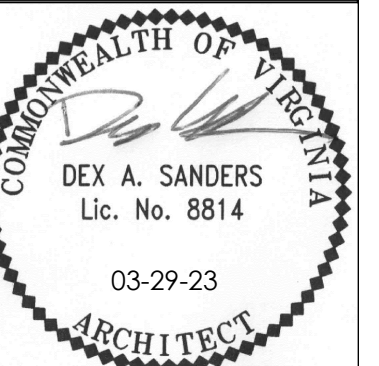
@	ABV.	AT	F.F.	FINISHED FLOOR	P.C.	PLUMBING CONTRACTOR
ABV.	A.C.T.	ABOVE	BRD.	FINISH	PSF	PER SQUARE FOOT
A.C.T.	A.F.F.	ACOUSTICAL CEILING TILE	FLR.	FLOOR	PSI	PER SQUARE INCH
A.F.F.	ADJ.	ADJUSTABLE	FND.	FOUNDATION	P.T.	PRESSURE TREATED
ADJ.	ALT.	ALTERNATE	FRMG.	FRAMING	PERIM.	PERIMETER
ALT.	ALUM.	ALUMINUM	FT.	FOOT/FEET	PLUMB.	PLUMBING
ALUM.	ARCH.	ARCHITECTURAL	FIG.	FOOTING	R.O.	ROUGH OPENING
ARCH.	B.F.F.	BELOW FINISHED FLOOR	G.C.	GENERAL CONTRACTOR	R.W.C.	RAIN WATER CONDUCTOR
B.F.F.	BSMT	BASEMENT	GWB	GYPSUM WALLBOARD	REINF.	REINFORCED
BSMT	BLK'G	BLOCKING	GA.	GAUGE	REQ.	REQUIRED
BLK'G	B.O.	BOTTOM OF	GALV.	GALVANIZED	RESP.	RESPONSIBLE
B.O.	BOT.	BOTTOM	HVAC	HEATING, VENTILATION & AIR CONDITIONING	RET.	RETURN
BOT.	BD	BOARD	HW	HARDWARE	RM	ROOM
BD	BLDG.	BUILDING	HDR.	HEADER	R.M.	ROUGH OPENING
BLDG.	C.T.	CERAMIC TILE	HGT.	HEIGHT	S.F.	STANDING SEAM ROOF
C.T.	CLG.	CEILING	HORIZ.	HORIZONTAL	S.S.R	SCHEDULE
CLG.	CLO.	CLOSET	INSUL.	INSULATION	STD.	STANDARD
CLO.	CMU	CONCRETE MASONRY UNIT	INT.	INTERIOR	STL	STEEL
CMU	CONC.	CONCRETE	JAN.	JANITOR	STOR.	STORAGE
CONC.	CONST	CONSTRUCTION	JOINT	JOINT	T&G	TONGUE & GROOVE
CONST	DBL	DOUBLE	JT.	JOINT	TEMP.	TEMPORARY
DBL	DWG	DRAWING	L.F.	LINEAR FOOT	T.O.	TOP OF
DWG	DTL	DETAIL	M.C.	MECHANICAL CONTRACTOR	TYP.	TYPICAL
DTL	EX.	EXISTING	MR	MOISTURE RESISTANT BOARD	U.G.	UNDERGROUND
EX.	E.C.	ELECTRICAL CONTRACTOR	MANUF.	MANUFACTURED	U.N.O.	UNLESS NOTED OTHERWISE
E.C.	ELEC.	ELECTRICAL	MAX.	MAXIMUM	VWC	VINYL WALLCOVERING
ELEC.	ELEV.	ELEVATION	MECH.	MECHANICAL	VERT.	VERTICAL
ELEV.	EQ.	EQUIVALENT	MIN.	MINIMUM	V.C.T.	VINYL COMPOSITE TILE
EQ.	EXP.	EXPANSION	MTL	METAL	W/	WITH
EXP.	EXT.	EXTERIOR	O.C.	ON CENTER	W/O	WITHOUT
EXT.	F.G.	FIBERGLASS	PD	PAINTED	W.W.F.	WELDED WIRE FABRIC
F.G.			PL	PLATE	WD.	WOOD

VICINITY MAP



DRAWING INDEX

SHEET	DRAWING TITLE
CS.01	COVER SHEET
CS.02	PROJECT SPECIFICATIONS
C1.1	SITE SKETCH
D1.1	DEMOLITION PLANS
S1.1	FOUNDATION / FRAMING PLAN
S2.1	ROOF FRAMING PLAN & DETAILS
A1.1	BASEMENT & 1ST FLOOR PLAN
A1.2	2ND FLOOR PLAN, WALL TYPES & FINISH SCHED.
A2.1	ENLARGED PLANS & MILLWORK DETAILS
A4.1	EXTERIOR ELEVATIONS
A5.1	BUILDING SECTIONS & DETAILS
A5.2	BUILDING SECTIONS & DETAILS
A8.1	DOOR SCHEDULE
M1.1	MECHANICAL CONCEPT PLAN
E1.1	FLOOR PLAN - POWER
E2.1	CEILING / LIGHTING PLAN



REVISIONS:	
REV #1	REVIEW 09-19-23
REV #2	RE-BID 05-08-24
DRAWN:	DAS
CHECKED:	
SCALE:	NOTED
DATE:	03-29-23
PROJECT #:	2127

**CS.1**

### PROJECT SPECIFICATIONS

#### GENERAL NOTES:

1. ALL ITEMS & SYSTEMS TO BE INSTALLED AS RECOMMENDED BY THE MANUFACTURER AND IN CONFORMANCE WITH APPLICABLE BUILDING CODES, LAWS AND REGULATIONS.

2. UNLESS "NO SUBSTITUTIONS" IS SPECIFICALLY INDICATED, IT IS NOT THE INTENT OF THESE SPECIFICATIONS TO EXCLUDE MANUFACTURERS THAT PRODUCE EQUAL PRODUCTS OR SYSTEMS. CONTRACTOR IS ENCOURAGED TO SUBMIT ALTERNATE PRODUCT OR SYSTEM MANUFACTURERS FOR CONSIDERATION BY ARCHITECT PRIOR TO BID / ORDER (SEE PM SECTION 01.600).

3. CONTRACTOR SHALL DAILY REMOVE ALL DEBRIS FROM SITE AND KEEP WORK AREA CLEAN. REMOVE EXCESS MATERIALS FROM SITE.

4. SEE THE PROJECT MANUAL FOR ADDITIONAL SPECIFICATIONS AND INFORMATION.

5. FOLLOWING CONTRACT AWARD, SUBMIT PROPOSED COLOR CHARTS & SAMPLES FOR ALL REQUIRED COLOR SELECTIONS TO ARCHITECT FOR SELECTION & SCHEDULE. MANUFACTURER'S PRINTED COLOR CHARTS FOR PAINTED ITEMS OR PHYSICAL SAMPLES ARE REQUIRED. **PAGES PRINTED FROM WEBSITES OR LINKS TO WEBSITES ARE NOT ACCEPTABLE.**

6. SUBMITTAL INFORMATION REQUIRED FOR ALL SECTIONS NOTED THUS \*\* EXCEPT FOR SAMPLES. FURNISH SUBMITTALS IN PDF FORMAT. SUBMIT (2) PHYSICAL SAMPLES FOR COLOR SELECTION.

7. U.N.O., CONTRACTOR SHALL MAKE APPLICATION AND OBTAIN ALL PERMITS REQUIRED FOR THE EXECUTION OF THIS WORK. U.N.O. ALL PERMIT FEES WILL BE PAID BY THE CONTRACTOR. SPECIAL INSPECTIONS REQUIRED BY THE CODE SHALL BE PAID FOR BY THE OWNER. THE OWNER WILL PAY FOR ALL OTHER QUALITY CONTROL INSPECTIONS UNLESS INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS AS WELL AS ELECTRIC & GAS UTILITY CONNECTION FEES & TELEPHONE & DATA SERVICE. CONTRACTOR SHALL COORDINATE WITH SERVICES PROVIDED BY OTHERS.

#### 02000 - SITE WORK (SEE SITE PLAN SHEETS)

1. EXCEPT FOR MATERIALS TO BE RE-USED ON SITE SUCH AS TOPSOIL, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE SITE. CONTRACTOR SHALL PROVIDE ADDITIONAL SOIL AND FILL MATERIAL AS NECESSARY TO COMPLETE THE WORK.

2. DO NOT OBSTRUCT EXISTING STREETS, PARKING OR TRAVELWAYS WITHOUT OBTAINING PRIOR PERMISSION FROM THE OWNER. **PARKING MUST BE MAINTAINED DURING CONSTRUCTION FOR SCHEDULED ON-SITE OPERATIONS.**

3. PROTECT ALL EXISTING SITE IMPROVEMENTS TO REMAIN DURING CONSTRUCTION. RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION AS ACCEPTABLE TO THE OWNER. THIS SHALL INCLUDE EXISTING PARKING, STRUCTURES, LANDSCAPING AND UTILITY SERVICES.

4. REPLACE ALL EXISTING TREES SCHEDULED TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION.

5. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER WITHOUT PRIOR WRITTEN PERMISSION. CONTRACTOR MUST FURNISH TEMPORARY UTILITY SERVICES IF SERVICE IS INTERRUPTED TO ANY OCCUPIED AREAS - UNLESS DURING SCHEDULED AND APPROVED SERVICE INTERRUPTION.

6. SUBGRADE BACK FILL SOILS SHALL BE CLEAN AND FREE FROM CLAY & SILTY SOILS AND ROCKS LARGER THAN 3" IN ANY DIMENSION. FROZEN MATERIALS, VEGETATION, WASTE AND OTHER DELETERIOUS MATTER. SEE GEOTECH REPORT RECOMMENDATIONS.

7. STRUCTURAL FILL AND DRAINAGE FILL TO BE #57 STONE OR AS INDICATED IN THE GEOTECHNICAL REPORT.

8. EXCESS FILL MAY NOT BE SPREAD AND SEEDED ON SITE IN A LOCATION AS ALLOWED AND DIRECTED BY OWNER.

9. BEDDING FILL TO BE CRUSHED STONE OR GRAVEL WITH 100% PASSING A 1/4" INCH SIEVE.

10. PROVIDE DETECTABLE WARNING TAPE WITH METAL CORE INSCRIBED WITH DESCRIPTION OF THE UTILITY 1'-0" MINIMUM ABOVE ALL UNDERGROUND UTILITIES.

11. PROVIDE ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED BY THE COUNTY AND STATE.

12. EXCAVATE TO SUBGRADE ELEVATIONS REGARDLESS OF THE CHARACTER OF SURFACE OR SUBSURFACE CONDITIONS ENCOUNTERED INCLUDING ROCK, SOIL MATERIALS OR OTHER OBSTRUCTIONS.

13. EXCAVATED MATERIALS TO BE BACKFILL INCLUDE UNSATISFACTORY SOIL MATERIALS AND ROCK - REPLACE WITH SATISFACTORY MATERIALS. **SEE BID FORM FOR ROCK REMOVAL UNIT COST.**

14. EXCAVATE TRENCHES 6 INCHES DEEPER THAN BOTTOM OF PIPE IN ROCK AND 4 INCHES DEEPER ELSEWHERE TO ALLOW FOR BEDDING COURSE.

15. RE-CONSTRUCT SUBGRADES DAMAGED BY FREEZING TEMPERATURES OR WATER, ETC.

16. COMPACTION: PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES AND COMPACT AS FOLLOWS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.

17. UNDER STRUCTURES - ENGINEERED FILL COMPACTED TO 95% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE (ASTM D-698)

18. UNDER WALKS & PAVEMENTS - 95% UNDER LAWNS - 85%

19. OWNER MAY ENGAGE AN INDEPENDENT GEOTECHNICAL TESTING AGENCY TO TEST AND INSPECT EACH LAYER OF SUBGRADE FILL. WHEN REPORTS INDICATE THAT THE SPECIFIED DEGREE OF COMPACTION IS NOT ACHIEVED, RECOMPACT AND RETEST UNTIL COMPACTION IS ACHIEVED.

20. WHERE SETTling OCCURS, REMOVE FINISHED SURFACE AND REPAIR TO NEW CONDITION.

21. SEE THE ATTACHED SOILS REPORT INCLUDED IN THE PROJECT MANUAL AND FOLLOW ALL RECOMMENDATIONS OF THE REPORT.

22. CONTRACTOR IS RESPONSIBLE FOR ALL SURVEY, BENCHMARKS AND STAKEOUT REQUIRED FOR THIS PROJECT.

23. CONTRACTOR SHALL EXTEND AND COMPLETE BUILDING UTILITY SERVICES IN COORDINATION WITH WORK PERFORMED BY OTHERS.

24. PROTECT ALL EXIST. SERVICES IN PLACE.

25. CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE TO DETERMINE EXISTING CONDITIONS AND FULL EXTENT OF WORK REQUIRED TO EXTEND ALL UTILITIES TO BUILDING. UTILITY COSTS & PERMIT FEES NOT SPECIFICALLY EXCLUDED ARE A PART OF THIS WORK.

26. AT PRE-CONSTRUCTION MEETING, CONTRACTOR SHALL PRESENT THE OWNER WITH A SCHEDULE FOR HAVING THE OWNER PROVIDED UTILITIES COMPLETE.

27. CONTRACTOR SHALL PROVIDE AND PAY FOR ANY TEMPORARY UTILITY SERVICES REQUIRED FOR CONSTRUCTION PRIOR TO FINAL UTILITY INSTALLATION (I.E. TEMP. H2O & ELEC.).

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### SPECIFICATIONS (CONT.)

#### 05000 METALS

1. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE REQUIREMENTS OF AISC 360-10 "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS". IF CONNECTIONS ARE NOT SHOWN ON DRAWINGS, FABRICATOR SHALL DESIGN CONNECTIONS FOR BEAM MEMBER UNIFORMLY LOADED TO CAPACITY.

ASTM A36 (ANGLE, CHANNELS, PLATES & OTHER STRUCTURAL SHAPES) Fy = 36 ksi EXTERIOR STEEL EXPOSED TO THE WEATHER TO BE HOT DIPPED GALVANIZED.

#### 05500 METAL FABRICATIONS \*\*

1. ALL EXTERIOR METAL FABRICATIONS INCLUDING EXTERIOR RAILS TO BE GALVANIZED FINISHED.

2. RAILS TO BE FULLY WELDED WITH ALL WELDS GROUND SMOOTH & NO VISIBLE PITS OR OPENINGS.

3. FABRICATE COMPLETE RAIL SECTIONS TO BE INSTALLED IN AS LONG A LENGTH AS POSSIBLE.

4. FIELD MEASURE AS-BUILT CONDITION & SUBMIT SHOP DRAWINGS FOR ALL METAL FABRICATIONS.

#### 06000 WOOD AND PLASTICS \*\*

1. CONFORM TO NDS-2018 "NATIONAL DESIGN SPECIFICATIONS" FOR WOOD CONSTRUCTION.

2. PROVIDE BLOCKING FOR ALL ITEMS MOUNTED TO FRAMING.

3. WHEN FRAMING IS COMPLETED, BUT BEFORE INSULATION, CONTRACTOR SHALL MEET WITH ARCHITECT TO REVIEW FRAMING AND BLOCKING.

4. SUBMIT ENGINEERED & FIRE TREATED WOOD PRODUCTS FOR REVIEW.

5. ALL WOOD FRAMING WALLS AND MEMBERS SHALL BE ERRECTED STRAIGHT, PLUMB AND LEVEL. WALLS THAT ARE BOWED OR CROOKED SHALL BE STRAIGHTENED.

6. ALL MISC. BLOCKING MEMBERS FOR ROOFING SYSTEMS OR IN CONTACT WITH EXTERIOR WALLS, SLABS OR MASONRY TO BE PRESERVATIVE TREATED.

7. EXPOSED EXTERIOR TRIM & PANELS TO BE FACTORY PRIMED OR PRE-FINISHED WHITE BORAL OR FIBER-CEMENT EQ. TO JAMES HARDIE SMOOTH FINISH.

8. EXPOSED EXTERIOR TRIM & PANELS TO BE FACTORY PRIMED OR PRE-FINISHED WHITE BORAL OR FIBER-CEMENT EQ. TO JAMES HARDIE SMOOTH FINISH.

9. ALL ROUGH CARPENTRY SHALL CONFORM TO THE REQUIREMENTS OF THE NDS-2018 "NATIONAL DESIGN SPECIFICATIONS (NDS) FOR WOOD CONSTRUCTION WITH 2015 SUPPLEMENT".

ALL EXTERIOR LOAD BEARING STUD WALLS ARE DESIGNED AS PERFORATED SHEAR WALLS BY THE ASD METHOD IN ACCORDANCE WITH NDS - SPECIAL DESIGN PROVISIONS FOR WIND & SEISMIC.

PROVIDE NO. 2 SOUTHERN PINE OR EQ. WITH 19% MAXIMUM MOISTURE CONTENT FOR ALL FRAMING LUMBER INCLUDING, LINTELS, JOISTS, RAFTERS, AND BEAMS UNLESS NOTED OTHERWISE. WALL STUDS AND PLATES MAY BE S-P-F No. 1 / 2 U.N.O. ON PROJECT SPECIFIC DETAILS AND NOTES.

PROVIDE MICROSLAM VENEER LUMBER (LVL) MIN. 2.0E. PARALLAM PARALLEL STRAND LUMBER (PSL), AND TIMBERSTRAND LUMBER (LSL) MIN. 1.8E. MANUFACTURED BY TRUS JOIST (OR APPROVED EQUAL).

ALL FRAMING CONNECTIONS NOT SPECIFICALLY INDICATED ON THESE CONSTRUCTION DOCUMENTS SHALL COMPLY WITH THE MINIMUMS ESTABLISHED BY TABLE 2304.9.1 OF THE VUSBC.

ALL NAILED CONNECTIONS (OF TWO 2x MEMBERS) SPECIFICALLY INDICATED ON THESE CONSTRUCTION DOCUMENTS ARE ASSUMED TO BE DONE USING A MINIMUM NAIL SIZE OF 0.131" DIAMETER x 3" LONG UNLESS NOTED OTHERWISE.

ALL LIGHT GAGE STEEL PRE-FORMED CONNECTORS SHALL BE INSTALLED USING THE NUMBER OF NAILS AND NAIL TYPE LISTED FOR THAT CONNECTOR BY THE MANUFACTURER IN THEIR PUBLISHED LITERATURE. ALL NAILS LISTED AS 1 1/2" LONG SHALL BE MADE BY THE MANUFACTURER OF THAT CONNECTOR. HANGERS OR CONNECTORS USED WITH PRESSURE TREATED LUMBER SHALL HAVE G185 MINIMUM ZINC COATING (I.E. SIMPSON ZMAX G185).

PROVIDE A MINIMUM OF THREE INCHES OF BEARING FOR ENGINEERED LUMBER BEAMS, UNLESS OTHERWISE NOTED.

ALL BEAMS SHALL BE laterally supported BY BLOCKING OR OTHER MEANS AT ALL POINTS OF BEARING.

NAILS INSTALLED PARALLEL TO THE GLUE LINES ON THE NARROW FACE OF ENGINEERED LUMBER BEAMS SHALL NOT BE SPACED CLOSER THAN FOUR INCHES FOR 10d COMMON NAILS AND THREE INCHES FOR 8d COMMON NAILS.

DO NOT DRILL, NOTCH, CUT (EXCEPT TO LENGTH), OR ALTER ENGINEERED LUMBER BEAMS OR JOISTS WITHOUT WRITTEN APPROVAL OF FABRICATOR AND REVIEW BY STRUCTURAL ENGINEER.

10. ALL POST-INSTALLED ANCHORS (IN CONCRETE OR CMU) ARE TO BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS (INCLUDING BUT NOT LIMITED TO DRILL BIT SIZE, PROPER CLEANING OF HOLES, INSTALLATION TORQUE, AND TEMPERATURE CONSTRAINTS).

WHEN A SPECIFIC PRODUCT AND MANUFACTURER IS REFERENCED IN THE CONTRACT DOCUMENTS, THAT SPECIFIC PRODUCT SHALL BE USED UNLESS AN ALTERNATE PRODUCT IS APPROVED IN WRITING BY THE ARCHITECT OR STRUCTURAL ENGINEER OF RECORD PRIOR TO USE.

FASTENERS GENERICALLY REFERRED TO AS "SCREW ANCHOR" ON THE DRAWINGS SHALL BE ONE OF:

1. TITEN HD BY SIMPSON STRONG-TIE ANCHOR SYSTEMS

2. KWIK HUS-EZ BY HILT

FOR THESE SCREW ANCHORS LISTED, USE STANDARD ANSI DRILL BIT (NO SPECIAL BIT REQUIRED), PROVIDE HOLES IN STEEL MEMBERS 1/8" LARGER THAN NOMINAL DIAMETER OF ANCHOR.

CHEMICAL ADHESIVE ANCHORING SYSTEMS USED IN CONCRETE GENERICALLY REFERRED TO AS "ADHESIVE ANCHORS" SHALL BE ONE OF :

1. SET-XP BY SIMPSON STRONG TIE

2. AT-XP BY SIMPSON STRONG TIE

3. HIT-RE 500-V3 BY HILT

3. HIT-HY 200 BY HILT

THREADED ROD ANCHORS USED WITH THESE SYSTEMS SHALL BE PROVIDED BY THE ADHESIVE MANUFACTURER AND HAVE A MINIMUM STEEL STRENGTH OF Fy = 36 KSI UNLESS NOTED OTHERWISE. REINFORCING STEEL USED WITH THESE SYSTEMS SHALL COMPLY WITH ASTM A615 GRADE 60.

ANY PRODUCTS SUBMITTED AS A REQUEST FOR SUBSTITUTION SHALL BE COMPLIANT WITH ACI 318-11 APPENDIX D AND APPROVED FOR USE IN CRACKED CONCRETE.

FASTENERS GENERICALLY REFERRED TO AS "EXPANSION ANCHORS" OR "WEDGE ANCHORS" SHALL BE ONE OF:

1. KWIK BOLT TZ BY HILT

2. STRONG-BOLT 2 BY SIMPSON STRONG TIE ANCHOR SYSTEMS

3. POWER- STUD + SD2 BY POWERS FASTENERS

FASTENERS GENERICALLY REFERRED TO AS "CONCRETE/MASONRY SCREWS" SHALL BE ONE OF:

1. KWIK-CON II + BY HILT

2. TITEN BY SIMPSON STRONG TIE ANCHOR SYSTEMS (DO NOT USE TITEN HD MIN)

3. TAPPER + BY POWERS FASTENERS

071400 FOUNDATION DRAINAGE & WATERPROOFING

1. PROTECT ALL WATERPROOFING APPLICATIONS WITH RIGID INSULATION OR PROTECTION BOARD AS RECOMMENDED BY PRODUCT MANUFACTURER.

2. PROVIDE CONTINUOUS STONE & 4" FOUNDATION DRAINAGE TO DAYLIGHT ALONG ALL BELOW GRADE FOUNDATION WALLS.

3. WATERPROOFING TO BE EQUAL TO RUB-R-WALL ELASTOMERIC MEMBRANE (3) LAYERS W/ GEO-WRAP PLASTIC PROTECTION MEMBRANE WHERE EXPOSED TO EARTH AS RECOMMENDED BY SYSTEM MANUFACTURER.

### SPECIFICATIONS (CONT.)

#### 07210 BUILDING INSULATION

1. PERIMETER FOUNDATION INSULATION TO BE DOW XPS EXTRUDED POLYSTYRENE UNDER SLAB INSULATION. PROVIDE MIN. R-10. 2" x 24" VERTICAL RIGID FOUNDATION INSULATION BELOW EXTERIOR PERIMETER FOUNDATION SLAB WHERE FINISH GRADE IS LESS THAN 2'-0" ABOVE FINISHED SLAB.

2. SOUND BATTS INSULATION TO BE UN-FACED SOUND ATTENUATION FIBERGLASS BATT INSULATION BY OWENS CORNING IN 3" THICKNESS U.N.O. SOUND BATTS SHALL BE INSTALLED IN ALL INTERIOR WALLS SURROUNDING NEW ENCLOSED SPACES U.N.O.

3. EXTERIOR CAVITY WALL INSULATION AT 2x6 FRAME WALLS TO BE OWENS CORNING UNFACED CONT. R-21 MIN. BATS U.N.O.

4. ATTIC INSULATION TO BE OWENS CORNING UNFACED BATS MIN. R-38 U.N.O.

5. FLOOR INSULATION ABOVE BASEMENT TO BE MINIMUM R-21 BATS, PROVIDE FOIL FACED WHERE EXPOSED.

6. BASEMENT WALL INSULATION TO BE MINIMUM R-15 FOIL FACED IF EXPOSED.

7. PROVIDE INSULATION MARKED WITH R-VALUE SO INSPECTORS CAN CONFIRM CONFORMANCE WITH CONSTRUCTION DOCUMENTS AND ENERGY CODE.

#### 07400 SIDING PANELS \*\*

1. CEMENT-FIBER TRIM & PANELS TO BE EQUAL TO JAMES HARDIE PRIMED SMOOTH FACED. INSTALL W/ STAINLESS STEEL CONCEALED FASTENERS. EXPOSED & PAINTED TRIM BOARDS TO BE FIBER-CEMENT OR BORAL 1" THICKNESS (NOMINAL 5/4") OR AS INDICATED. SOFFIT PANELS TO BE FIBER CEMENT - VENTED WHERE INDICATED. TRIM TO BE FACTORY PRIMED OR PRE-FINISHED IN COLOR AS SELECTED BY OWNER W/ CUT JOINTS PRIMED & SEALED AS RECOMMENDED BY SIDING MANUFACTURER. CEMPLANK OR NICHIHA ARE ACCEPTABLE ACCEPTABLE EQUAL.

2. SOFFIT PANELS TO BE WHITE VINYL VENTED AT ALL GUTTER EAVES.

3. FOLLOW MANUFACTURER'S INSTALLATION AND FINAL COATING PREPARATION RECOMMENDATIONS.

4. SEE ELEVATION SHEET FOR EXTERIOR PRODUCT SCHEDULE.

#### 07450 METAL ROOFING \*\*

1. ROOFING TO BE EQUAL TO FABRAL SNAP-ON -SEAM 1" HEIGHT STANDING SEAM W/ CONCEALED CLIP. 24 GA. KYNAR OR HYLAR COATED STEEL PANELS WITH 20 YEAR MIN. WARRANTY ON PRODUCT WEATHER-TIGHTNESS & COATING. 16" SEAM SPACING. PROVIDE MATCHING PANEL FLASHING AND TRIM.

2. INSTALL ON SUBSTRATE RECOMMENDED BY PANEL SYSTEM MANUFACTURER FOR WARRANTY.

3. CONTRACTOR SHALL PROVIDE A ZERO COST TO OWNER (2) YEAR LABOR AND MATERIAL WARRANTY COVERING WEATHER-TIGHTNESS OF ROOFING AND FLASHING FROM DATE OF SUBSTANTIAL COMPLETION.

4. PRE-FINISHED METAL SOFFIT MATERIAL TO BE PRE-FORMED 0.032 MINIMUM THICKNESS ALUMINUM.

#### 07500 COMPOSITION SHINGLES (NOT USED)

#### 07900 CAULKING & SEALANTS

1. TYPICAL PRODUCTS SHALL BE DOW CORNING - 790 OR GE SILICONE SILPRUF 2000 WEATHERING SEALANT.

2. EXTERIOR BUILDING MASONRY / CONCRETE CAULKING TO BE PECORA 890 NST WITH CONTINUOUS BACKER ROD. SUBMIT COLOR SAMPLE FROM MANUFACTURER FOR SELECTION TO MATCH BRICK. PREPARE ALL JOINTS AS RECOMMENDED BY THE MANUFACTURER AND PERFORM A FIELD ADHESION TEST PRIOR TO FINAL APPLICATION. APPLY AND TOOL SEALANT TO DEPTH RECOMMENDED BY PECORA.

3. SEAL ALL LOCATIONS BETWEEN BUILDING AND WALKS WITH PECORA SILICONE TRAFFIC SEALANT - TRAFFIC 301NS IN COLOR TO MATCH WALK. CUT OFF REMAINING EXPANSION JOINT FILLER (EPS) BACK TO RECOMMENDED DEPTH BEFORE APPLYING SEALANT.

#### 079500 EXPANSION JOINT COVERS (NOT USED)

#### 08000 WINDOWS \*\*

1. SEE SHEET A4.2 FOR WINDOWS & STOREFRONT ENTRANCES.

#### 08110 STEEL DOOR & FRAMES (SUBMITTAL REQUIRED)\*\*

1. STEEL FRAMES TO BE SHOP PRIMED 16 GA. STEEL WITH HARDWARE FACTORY CUT & FULLY WELDED SEAMS WITH ALL WELDS GROUND SMOOTH, DRYWALL RETURN ALL FRAMES. PROVIDE (3) JAMB ANCHORS PER JAMB & ANCHOR TO FLOOR. PROVIDE CONT. HEADER ABOVE DOORS.

2. FIELD VERIFY WALL THICKNESS AND MASONRY OPENINGS.

3. INSTALL DOOR & FRAME SQUARE, PLUMB & LEVEL SO DOORS OPEN AND CLOSE WITH EASE.

4. STEEL DOORS TO BE 16 GA. FULLY WELDED & INSULATED, REINFORCED FOR CLOSERS & OTHER HARDWARE. FACTORY FINISHED

#### 08200 WOOD DOORS (SUBMITTAL REQUIRED)\*\*

1. WOOD DOORS: EQ. TO MASONITE GRAHAM SOLID CORE WOOD PRIMED PAINT DOORS. INTERIOR DOORS MAY BE PROVIDED AS FACTORY STYLE AND RAIL OR WITH FACTORY APPLIED MOULDINGS.

2. ALL DOORS TO HAVE SOLID ENGINEERED LUMBER STAVED CORE UNLESS A MINERAL CORE IS REQUIRED FOR FIRE-RATING. PARTICLE CORE DOORS ARE NOT ACCEPTABLE. ALL DOORS TO BE REINFORCED FOR CLOSERS. FINISH: PRIMED PAINT FINISH. ALGOMA IS AN ACCEPTABLE ALTERNATE.

3. DOOR JAMBS TO BE SET PLUMB AND LEVEL SO DOOR HAS AN EVEN REVEAL AND OPENS AND CLOSSES WITHOUT BINDING OR SCRAPING THE FLOOR. DOORS SHALL LATCH WITHOUT SLAMMING OR WITH CLOSER FORCE IF EQUIPPED WITH A CLOSER.

4. PROVIDE MATCHING TRIM AT GLASS LITES.

#### 09200 GYPSUM BOARD ASSEMBLIES

1. PROVIDE COMPLETE GYPSUM BOARD ASSEMBLIES AS INDICATED FOR NEW WORK. INSTALL GYPSUM BOARD PANELS VERTICALLY ALONG STUD IN CONTINUOUS PANELS TO DECREASE BUTT JOINTS WHERE POSSIBLE. PROVIDE MR BOARD IN NON-FIRE RATED W/ WALL LOCATIONS.

2. ACOUSTICAL INTERIOR WALLS INDICATED ARE TO BE INSTALLED W/ ALL EDGE CONDITIONS AND PENETRATIONS SEALED TO MAINTAIN ACOUSTICAL NRC RATING. ALL OFFICE, CLASSROOM & CORRIDOR WALLS REQUIRE ACOUSTIC SEPARATION.

3. FINISH GYPSUM BOARD SO THAT SEAMS & SCREW LOCATIONS ARE NOT VISIBLE AFTER PAINT FINISH IS APPLIED.

4. WHERE GYPSUM BOARD MEETS CMU WALLS, FRAMES OR OTHER STRUCTURE, PROVIDE A CONT. METAL J-BOARD OR JAMB EDGE WITH A FLEXIBLE SEALANT FILLER.

5. A LEVEL 4 FINISH SHALL BE REQUIRED IN ALL SPACES. AREAS OF ABOVE CEILINGS AND OTHER CONCEALED AREAS TO HAVE TAPED SEAMS ONLY.

6. CROOKED CORNERS OR WALLS WILL BE REQUIRED TO BE STRAIGHTENED.

7. PROVIDE CONTROL JOINTS WHERE INDICATED. REVIEW ANY ADDITIONAL CONTROL JOINT LOCATIONS RECOMMENDED BY THE GYPSUM BOARD SYSTEM INSTALLER WITH THE ARCHITECT DURING INTERIOR ROUGH-IN.

#### 09300 CERAMIC TILE & STONE (NOT USED)

#### 09510 ACOUSTICAL TILE CEILING (NOT USED)

#### 09650 RESILIENT FLOORING \*\* (SUBMIT PROPOSED COLOR SAMPLES)

1. 3/8" x 4" RUBBER COVE BASE BY JOHNSON RUBBER CO. INSTALL SO ALL SEAMS ARE TIGHT & FLUSH WITH WALL. RUN AS LONG A RUN AS POSSIBLE AVOIDING SHORT CUT PIECES. NO RUNS LESS THAN 1'-4" LONG. SUBMIT COLOR FOR SELECTION.

2. LV-1: INTERFACE NATURAL WOODGRAINS LEVEL SET. SUBMIT PATTERN FOR SELECTION.

3. PROVIDE ADHESIVE RECOMMENDED BY INSTALLER AND MANUFACTURER FOR MEASURED FLOOR MOISTURE CONTENT. DO NOT BEGIN FLOOR INSTALLATION UNTIL FLOOR MOISTURE CONTENT & UNDERLAYMENT IS ACCEPTABLE TO INSTALLER AND MANUFACTURER FOR A (1) YEAR MIN. FULL LABOR AND MATERIAL WARRANTY AGAINST MATERIAL DEFECTS AND BUBBLES / ADHESION.

#### 09660 CARPET \*\* (NOT USED)

#### 09900 PAINTING

1. PREPARE ALL SURFACES FOR COATINGS & APPLY COATINGS AS RECOMMENDED BY THE MFG. SPECIFICATIONS BELOW BASED ON SHERWIN-WILLIAMS. NOTE THAT EXPOSED ALUM., BRASS, CHROME, STAINLESS STEEL, ETC. TO BE LEFT UNFINISHED. DO NOT PAINT OVER TAGS & LABELS.

2. NO SPRAY APPLICATION OF PAINT WITHOUT PRIOR APPROVAL FROM OWNER. IF SPRAY APPLICATION IS USED, TURN OFF HVAC SYSTEM & PROTECT EQUIPMENT & ADJACENT SURFACES FROM OVERSPRAY.

3. EXTENT OF COATING IN CONTRACT INCLUDES: EXTERIOR SURFACES THAT ARE NOT PRE-FINISHED. PAINT INTERIOR FERROUS METALS - METAL DOORS, FRAMES & RAILS. ALL EXPOSED GYPSUM DRYWALL SURFACES, AS WELL AS EXPOSED DUCTWORK, PIPING & CONDUIT.

4. PRIOR TO APPLICATION OF ANY COATING, PAINTING CONTRACTOR WILL EXAMINE THE SUBSTRATE TO BE COATED. APPLICATION OF PAINT DEMONSTRATES PAINTING CONTRACTOR'S ACCEPTANCE OF SUBSTRATE.

5. PAINT CONTRACT SHALL INCLUDE UP TO (2) PAINT WALL COLORS PER SPACE - SEE FINISH PLANS AND SCHEDULE.

6. APPLY COATING TO FINISH THICKNESS RECOMMENDED BY COATING MFG. OWNER SHALL DOCUMENT PRIME COAT APPLICATION. NO FINISH COAT APPLICATION SHALL START UNTIL PRIME

### SPECIFICATIONS (CONT.)

#### PAINTING SCHEDULE:

#### EXTERIOR FERROUS METAL:

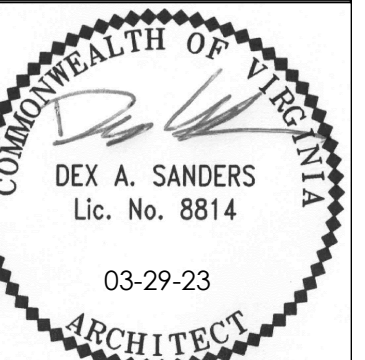
The dry film thickness of the paint at any point shall not be less than the following: for the primer 1.5 mils; for the three coat paint system 3.5 mils. In the event the required paint film



FOR CONSTRUCTION



CULPEPER COUNTY OPTIONS  
ADDITION  
13033 JAMES MADISON HIGHWAY  
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REV#1 REVIEW	09-19-23
REV#2 RE-BID	05-08-24
DRAWN:	DAS
CHECKED:	
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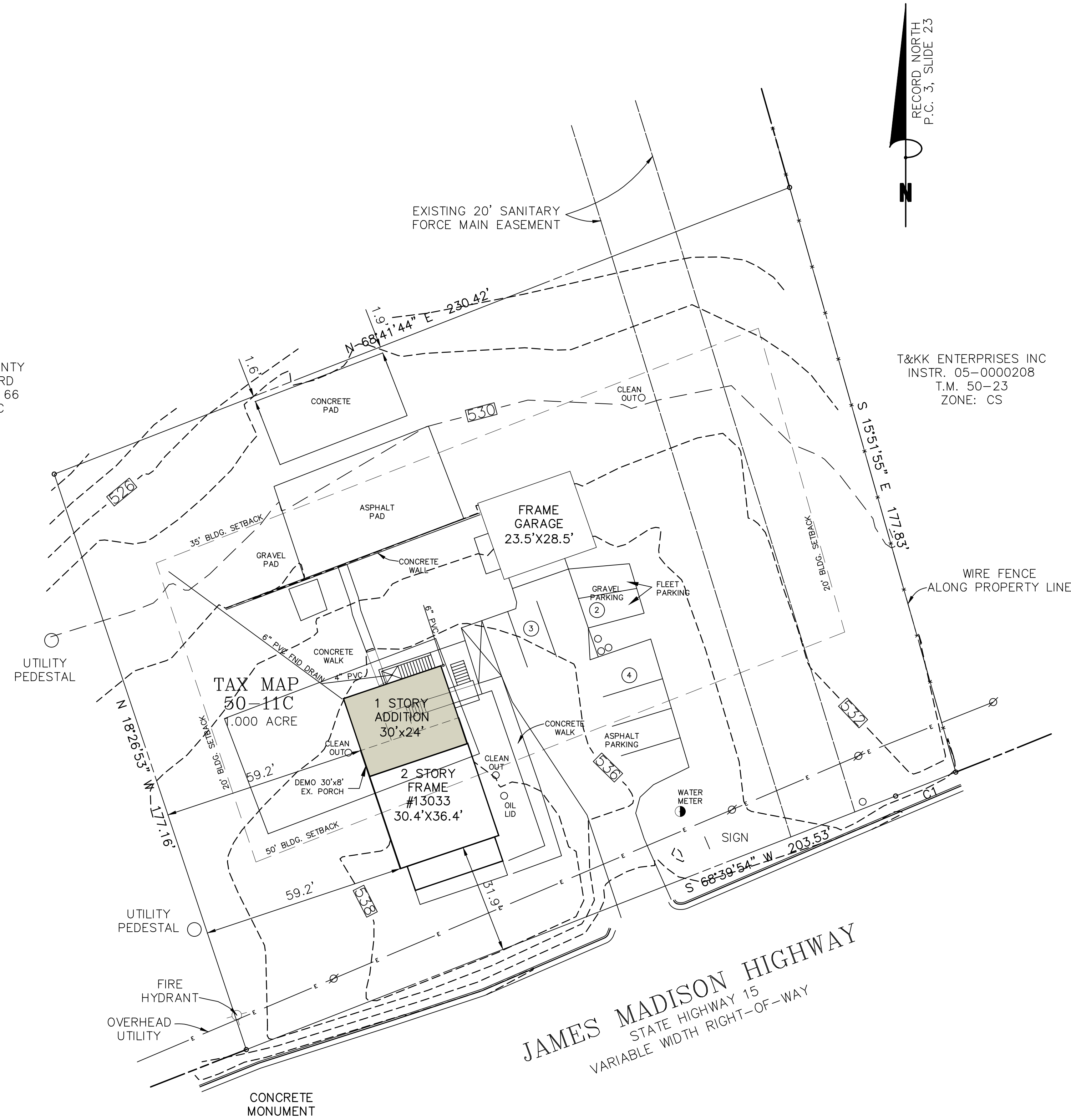
SITE SKETCH

**C1.1**

- ADMINISTRATIVE SITE DATA** (ZONING ORDINANCE 20-5-2)
- T.M. 50-11C OWNER: CULPEPER COUNTY SCHOOL BOARD; DEVELOPER: CULPEPER COUNTY BOARD OF SUPERVISORS
  - PLAN NORTH & DATE OF PLAN IDENTIFIED
  - EXISTING ZONING: R-2 RESIDENTIAL
  - LOT SIZE: 1.00 ACRE
  - LOT SETBACKS: STREET (50) FEET FROM STREET RIGHT OF WAY; SIDE YARD (20) FEET; REAR YARD (35) FEET; ACCESSORY STRUCTURE SIDE AND REAR YARD (10) FEET
  - NO WELLS OR SANITARY DISPOSAL SYSTEMS WERE LOCATED ON THE PROPERTY. STRUCTURES ARE SERVED BY PUBLIC WATER AND SEWER.
  - ENTRANCE AND TRAVELWAYS INDICATED ON THE PLAN.
  - EXISTING PARKING INDICATED ON PLAN; (P) SPACES PROVIDED; SPACES ARE PROPOSED TO NOT BE MARKED.
  - NO STREAMS OR BODIES OF WATER ARE IDENTIFIED
  - STREETS & RIGHT OF WAY IDENTIFIED
  - NO GRAVES ARE IDENTIFIED ON THE PROPERTY

- SITE PLAN GENERAL NOTES**
- SITE DATA USED ON PLAN TAKEN FROM DIGITAL SURVEY INFORMATION PROVIDED BY RICHARD BURKE, LS.
  - CONTRACTOR SHALL FIELD VERIFY OBSERVABLE EXISTING CONDITIONS PRIOR TO BID.
  - ALL UNDER-GROUND UTILITY LOCATIONS ARE NOT IDENTIFIED. CALL MISS-UTILITY PRIOR TO EXCAVATION. EXCEPT FOR SCHEDULED INTERRUPTIONS, MAINTAIN EXISTING UTILITY SERVICE FOR SITE OPERATIONS.
  - PRESERVE & PROTECT ALL EXISTING STRUCTURES, PAVING, WALKS AND LAWN AREAS TO REMAIN. REPAIR EXISTING CONDITIONS DAMAGED BY CONSTRUCTION ACTIVITIES TO PRE-CONSTRUCTION CONDITION.

CULPEPER COUNTY  
SCHOOL BOARD  
D.B. 199, PG. 66  
T.M. 50-11C  
ZONE: R2



**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1722.95'	18.89'	18.89'	S 68°21'03" W	0°37'41"

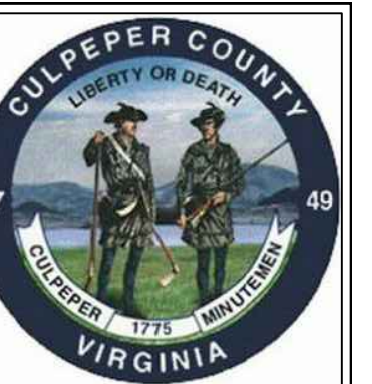
**SURVEYOR'S CERTIFICATE**

THIS TOPOGRAPHIC SURVEY ON THE LANDS OF CULPEPER COUNTY SCHOOL BOARD WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF RICHARD BURKE LS, FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE ORIGINAL DATA WAS OBTAINED ON DECEMBER 21, 2022; AND THAT DIGITAL GEOSPATIAL INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

HORIZONTAL DATUM = RECORD NORTH, VERTICAL DATUM = ASSUMED

**ADMINISTRATIVE SITE PLAN**  
SCALE: 1" = 20'

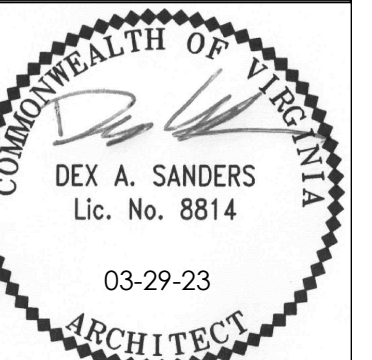
NOTE: THIS PLAN WAS APPROVED BY CULPEPER COUNTY ZONING ON 02/01/2023.



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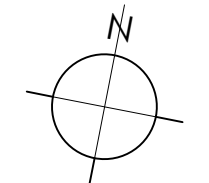
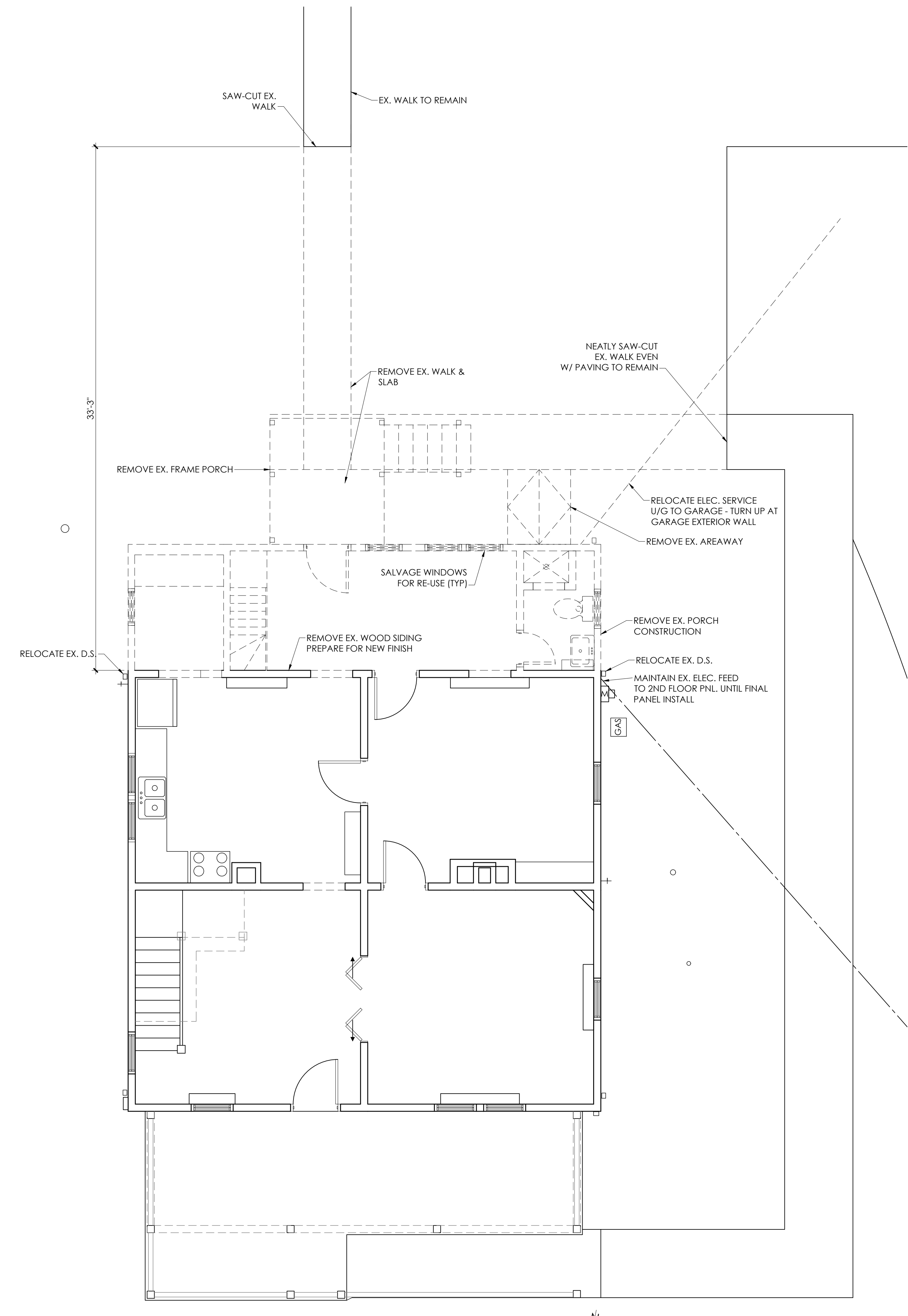
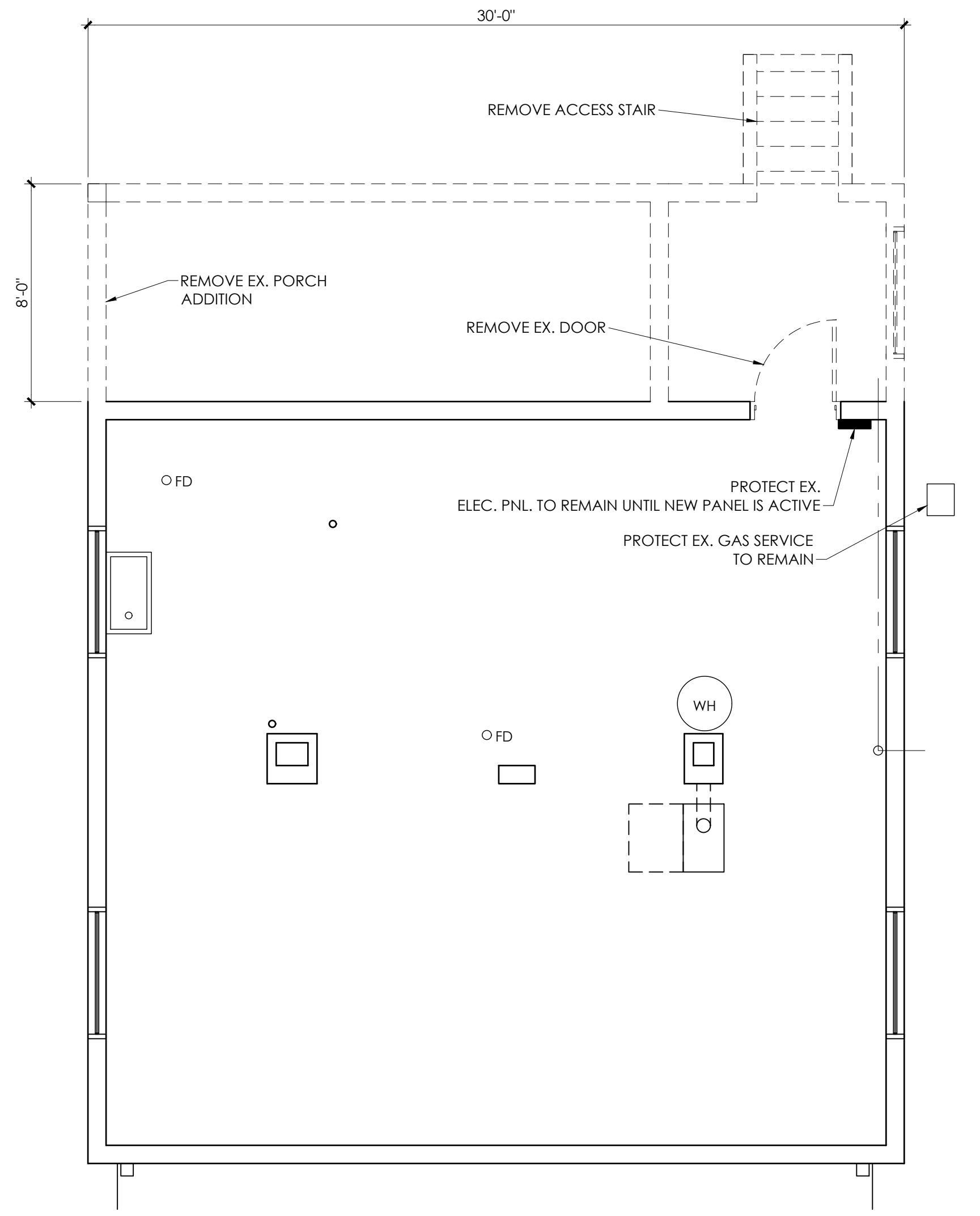
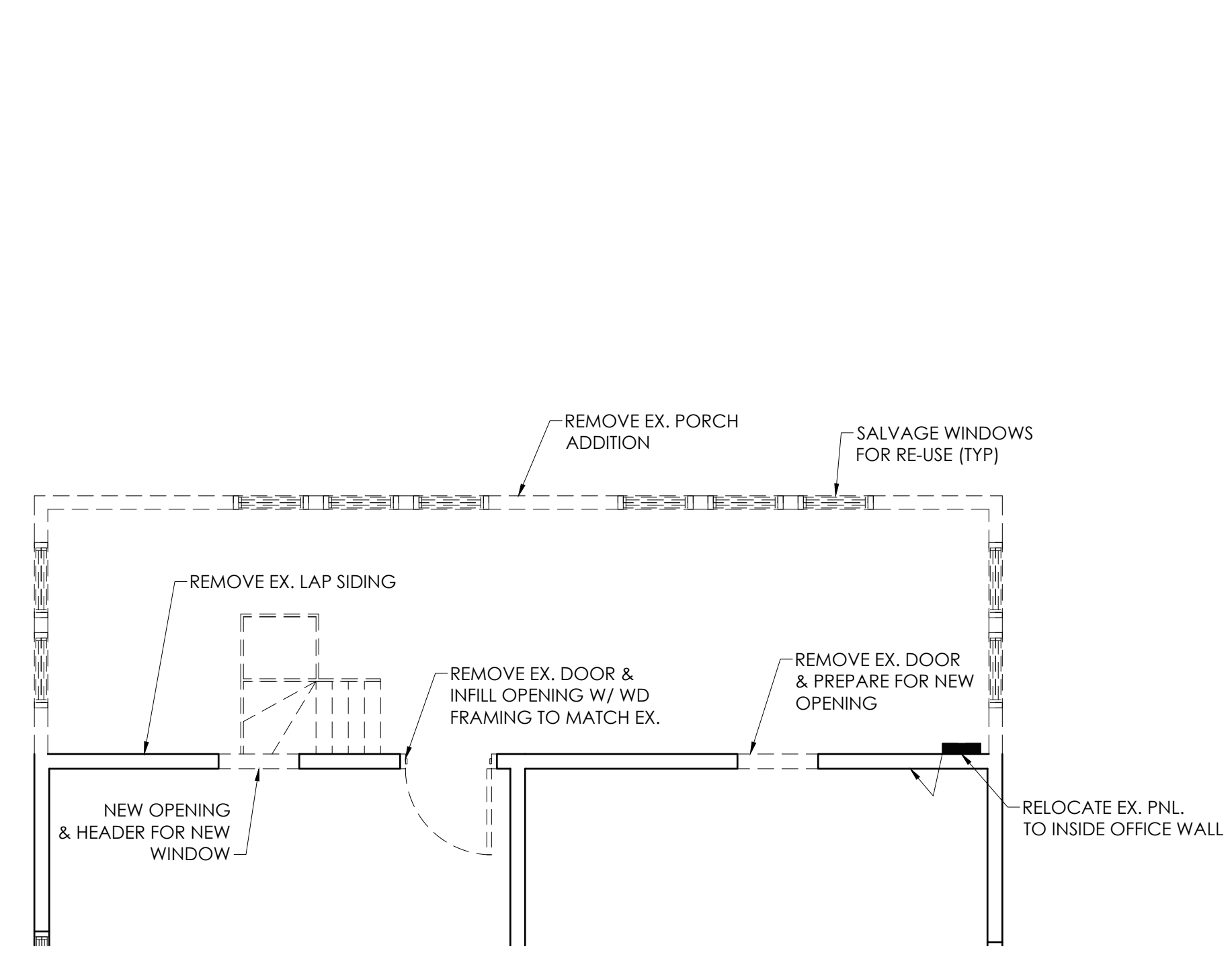


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DEMOLITION PLAN

**D1.1**

- GENERAL DEMOLITION NOTES**
- SEE PROJECT MANUAL SECTION 01732 SELECTIVE DEMOLITION FOR ADDITIONAL INFORMATION & REQUIREMENTS.
- THE INTENT OF DEMOLITION ACTIVITIES GENERALLY IS TO PREPARE FOR NEW FINISHED WORK AND TO RETURN EXISTING DISTURBED AREAS TO A CONDITION TO MATCH EXISTING ADJACENT FINISHES. IT IS IMPERATIVE THAT THE CONTRACTOR AND ANY SUB-CONTRACTORS INVOLVED IN THE WORK EXAMINE THE SITE PRIOR TO SUBMITTING A BID TO IDENTIFY MISC. AREAS OF REPAIR NECESSARY TO COMPLETE THE WORK. REQUESTS FOR CHANGES WILL NOT BE GRANTED TO PERFORM DEMOLITION WORK REQUIRED TO COMPLETE THE PROJECT THAT IS VISIBLE AT THE TIME BIDS ARE SUBMITTED.
- WHERE FLOOR, WALLS OR CEILING ARE REMOVED, REPAIR EXISTING ADJACENT FLOOR, BASE WALLS & CEILING TO MATCH ADJACENT FINISHES UNLESS OTHERWISE SCHEDULED. PROVIDE NEW COVER PLATES WHERE PLATES ARE MISSING OR DAMAGED. UNLESS OTHERWISE NOTED, TOUCH UP REPAINTING SHALL COVER ENTIRE WALL SURFACE AFFECTED BY DEMOLITION. RE-PAINT BOTH SIDES OF DOORS & FRAMES IN AREAS SCHEDULED FOR NEW FINISHES.
  - ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN FULL COOPERATION AND COORDINATION W/ OWNER. COORDINATE ALL LOSS OR REDUCTION OF EGRESS ELEMENTS OR ELECTRICAL OR COMMUNICATIONS SYSTEMS WITH OWNER. FOR INTERIOR REMODELING, ERECT DUST BARRIERS & NEGATIVE PRESSURE ENCLOSURES AROUND ENTIRE NEW CONSTRUCTION AREA TO PROTECT ADJACENT SPACES FROM DUST AND DEBRIS. **CONTRACTOR SHALL MAINTAIN DUST BARRIER INTEGRITY TO OWNER'S SATISFACTION AT ALL TIMES UNTIL SUBSTANTIAL COMPLETION.** VERIFY AT PRE-CONSTRUCTION MEETING ACCESS TO WORK AREA AND EXTENT OF WORK TO BE PERFORMED AFTER HOURS.
  - WHERE EXIST. ITEMS ARE RELOCATED, REPAIR DAMAGES TO ORIGINAL LOCATION AND PROVIDE HANGERS, SUPPORTS, WIRING, CONDUIT, ETC. NECESSARY FOR THE RELOCATION.
  - PROTECT EXISTING STRUCTURE FROM DAMAGE & WATER & MOISTURE INFILTRATION DURING CONSTRUCTION ACTIVITIES. EXTREME CARE MUST BE TAKEN NOT TO DAMAGE OR DISTURB EXISTING EQUIPMENT WHILE PERFORMING WORK. **DO NOT TURN OFF BREAKERS OR VALVES WITHOUT OWNER'S PERMISSION.**
  - DURING REGULAR BUSINESS HOURS, MAINTAIN REQUIRED EXITS FROM BUILDING TO THE SATISFACTION OF THE BUILDING OFFICIAL.
  - U.N.O. EXISTING VALVES, ELECTRICAL RECEPTACLES, SWITCHES & EQUIPMENT SERVING EXISTING FACILITY TO REMAIN. CONTRACTOR SHALL COORDINATE ALL POWER OR FIRE ALARM SYSTEM INTERRUPTIONS WITH OWNER'S REPRESENTATIVE.
  - WHERE NEW PENETRATIONS ARE MADE THRU EXISTING EXTERIOR WALLS OR ITEMS ARE REMOVED CREATING HOLES - SEAL FOR INSULATED & WEATHER-TIGHT ENCLOSURE.
  - IT IS THE INTENTION OF THESE BID DOCUMENTS TO IDENTIFY THE GENERAL DESIGN INTENT OF THE DEMOLITION AND REMODELING WORK NECESSARY FOR THE PERFORMANCE OF THIS REMODELING PROJECT. CONTRACTOR & SUB-CONTRACTORS MUST FIELD VERIFY EXISTING MISC. CONDUIT, PIPING, EQUIPMENT AND OTHER ITEMS THAT WILL NEED TO BE REMOVED AND OR RELOCATED. THIS WILL REQUIRE VISITING THE SITE PRIOR TO SUBMITTING BIDS TO UNDERSTAND EXISTING CONDITIONS FOR ITEMS TO BE REMOVED AND OR RELOCATED. THE OWNER'S CONSTRUCTION REPRESENTATIVE(S) SHOULD BE CONTACTED PRIOR TO BIDS SO ANY QUESTIONS MAY BE ANSWERED BEFORE BIDS ARE SUBMITTED.
  - FINISHED FLOOR SPACE IS EXTREMELY VALUABLE TO THE OWNER. CONTRACTOR TO BOX TIGHTLY AROUND ALL EXPOSED PIPING & CONDUIT WITH SCHEDULED FINISH. CONTRACTOR SHALL BOX IN AROUND CONDUITS, MISC. DUCTS & OTHER EXPOSED PIPING WITH GWB ON METAL FRAMING.
  - REPORT ANY DAMAGE TO EXISTING EQUIPMENT OR STRUCTURE TO OWNER AT THE TIME OF DAMAGE - EVEN IF THE DAMAGE IS PROMPTLY REPAIRED.



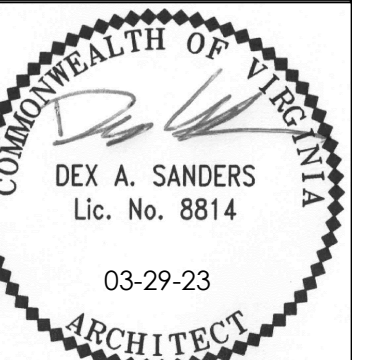




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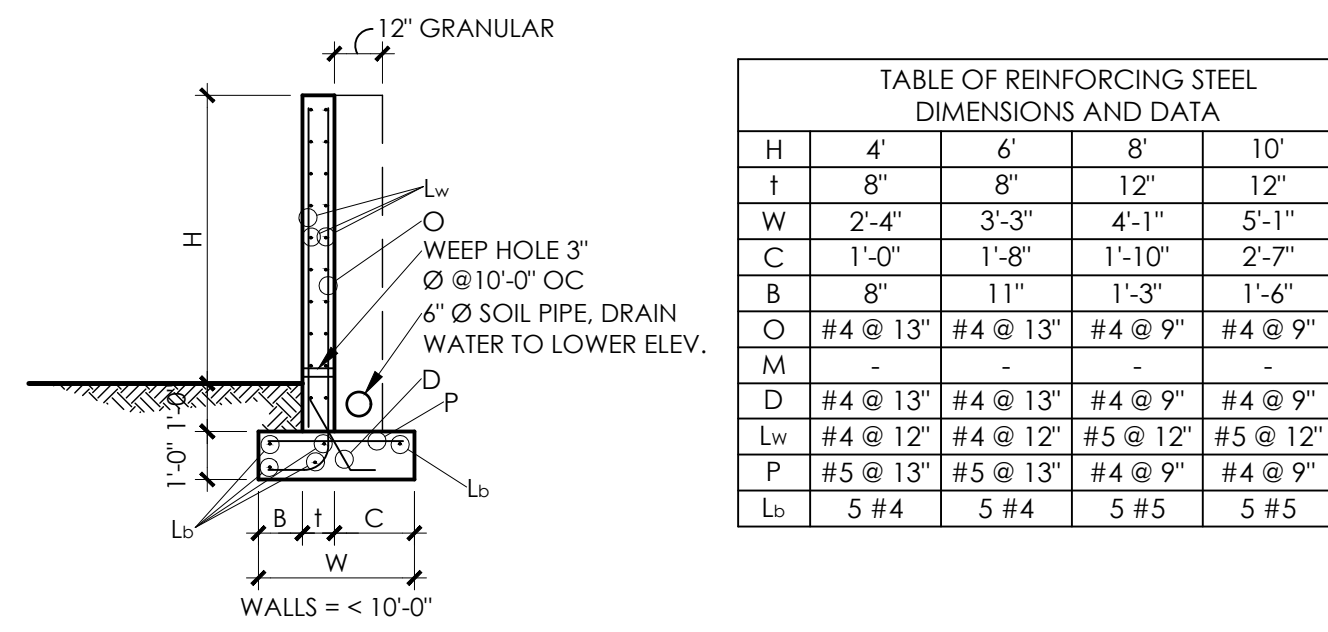
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FOUNDATION / FRAMING PLAN

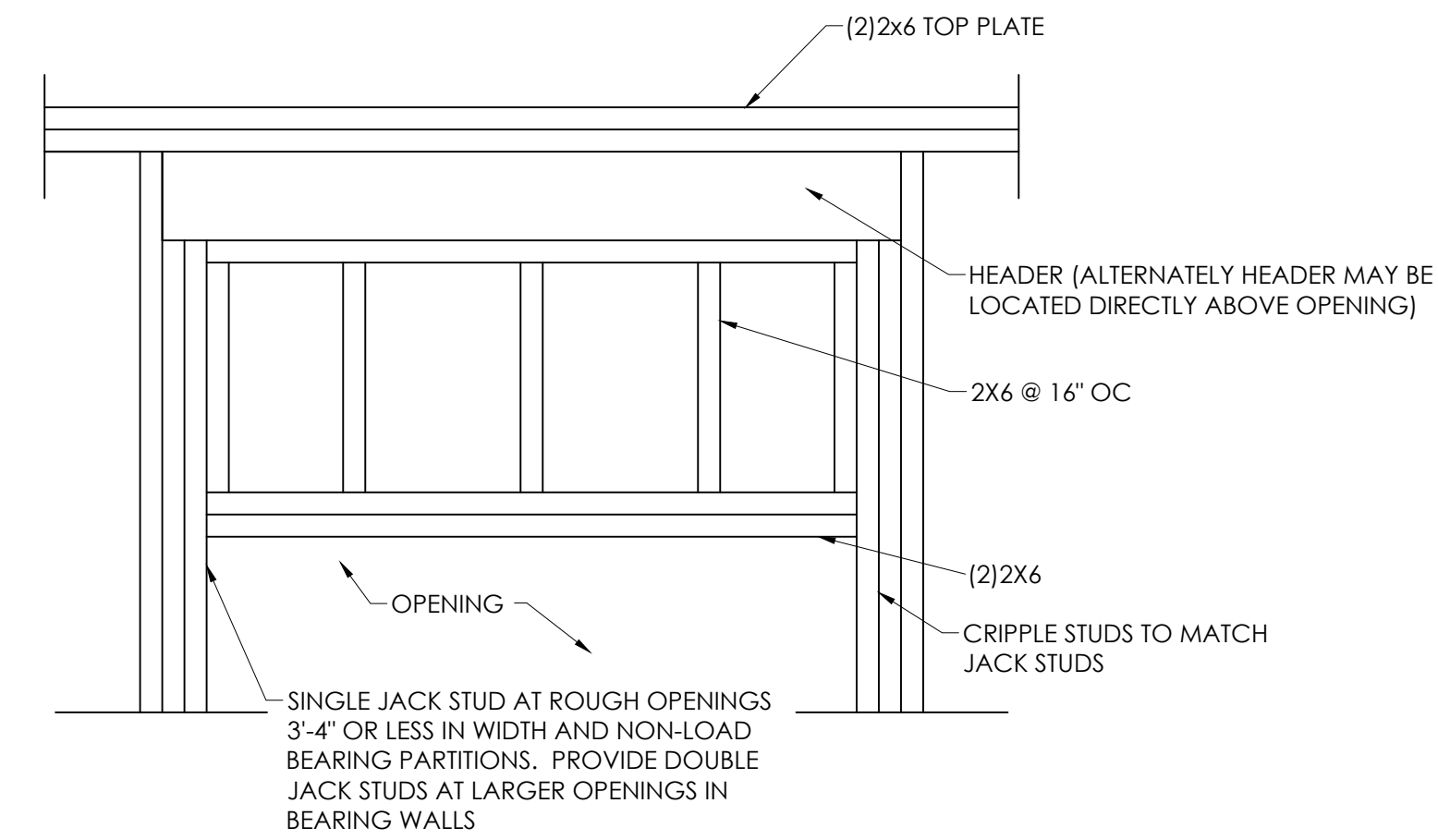
S2.1



	4'	6'	8'	10'
H	4"	6"	8"	10"
I	8"	8"	12"	12"
W	2'-4"	3'-3"	4'-1"	5'-1"
C	1'-0"	1'-8"	1'-10"	2'-7"
B	8"	11"	1'-3"	1'-6"
O	#4 @ 13"	#4 @ 13"	#4 @ 9"	#4 @ 9"
M	-	-	-	-
D	#4 @ 13"	#4 @ 13"	#4 @ 9"	#4 @ 9"
Lw	#4 @ 12"	#4 @ 12"	#5 @ 12"	#5 @ 12"
P	#5 @ 13"	#5 @ 13"	#4 @ 9"	#4 @ 9"
Lb	5 #4	5 #4	5 #5	5 #5

SITE RETAINING WALL DETAIL

SCALE: NONE



- WHERE HEADERS ARE SHOWN ON FLOOR AND ROOF FRAMING PLANS, THE WALL DIRECTLY BELOW THE HEADER MAY BE CONSIDERED NON-LOAD BEARING.
- HEADER SIZES:

NON-LOAD BEARING PARTITION	(2)2X8
LOAD BEARING WALL	(3)2X10 U.N.O.

TYPICAL WALL OPENING HEADER DETAIL

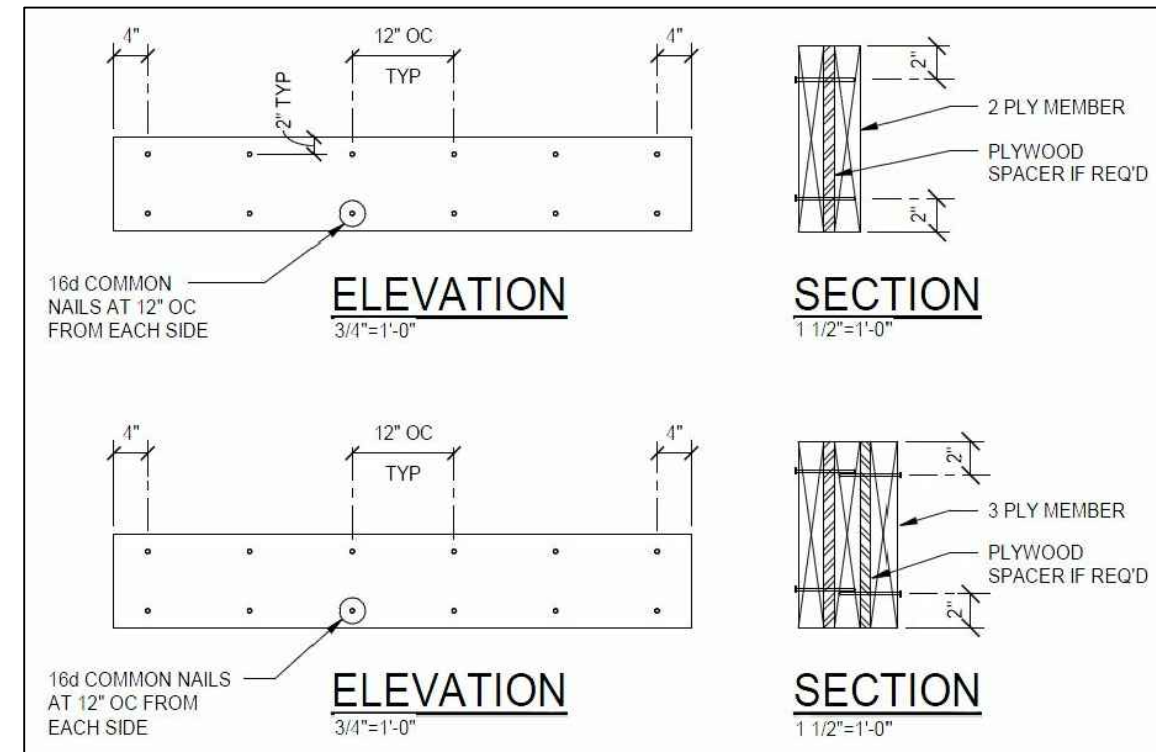
SCALE: 3/4" = 1'-0"

ROOF FRAMING NOTES

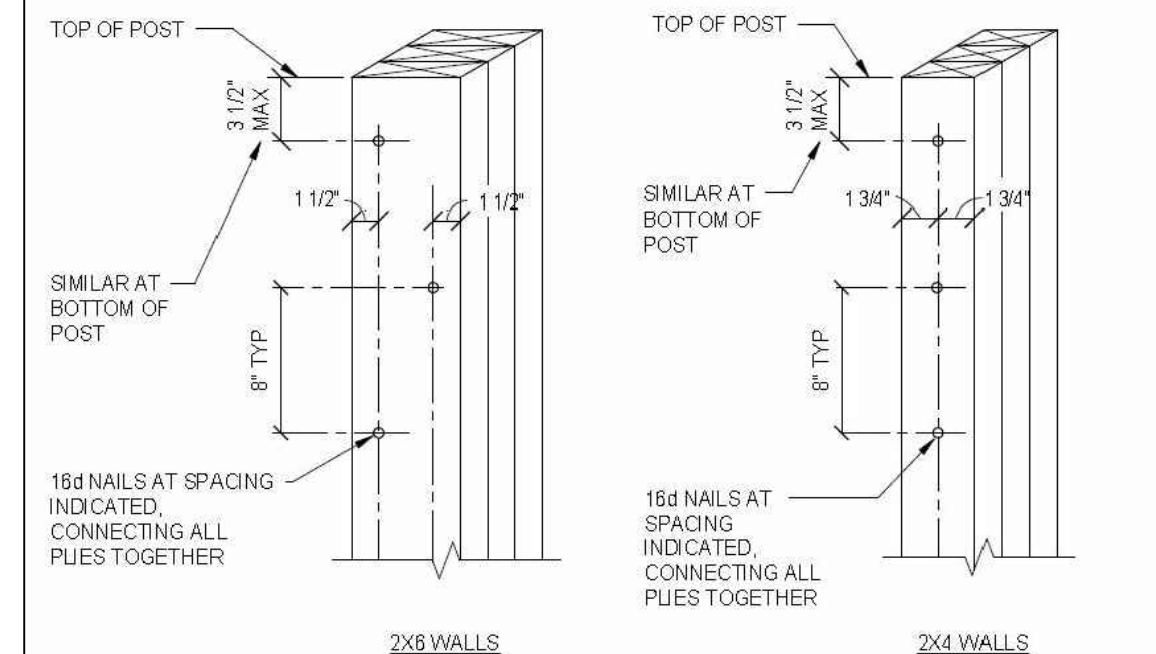
- ALL TRUSSES @ 24" OC MAXIMUM UNLESS NOTED OTHERWISE. WHERE TRUSSES ARE INDICATED AS SPREAD, PROVIDE 2X6 @ 24" OC TOP AND BOTTOM CHORDS.
  - CONTRACTOR TO PROVIDE ALL BLOCK'G, BRACING & OTHER FRAMING NECESSARY TO FRAME ALL CEILINGS, SOFFITS, CHASES & SKYLIGHTS.
  - CONTRACTOR TO PROVIDE WALK SURFACES & PLATFORMS TO ACCESS & MAINTAIN HVAC EQUIPMENT LOCATED ABOVE CEILING IN THE ATTIC SPACE. EQUIPMENT ACCESS AND SERVICE SPACE SHALL COMPLY WITH 2018 VIRGINIA MECHANICAL CODE.
  - COORDINATE EXACT EQUIPMENT LOCATIONS, WEIGHT AND DUCT ROUTING WITH TRUSS MFG.
  - COORDINATE FRESH AIR INTAKE LOUVERS & END WALL OPENINGS WITH TRUSS MFG.
  - TRUSSES TO BE DESIGNED BY MFG. ENGINEERED DRAWINGS ARE REQUIRED TO HAVE VIRGINIA PROFESSIONAL SEAL. SUBMIT SHOP DRAWINGS FOR REVIEW BEFORE FABRICATION.
  - DESIGN TRUSSES: L/480 FOR LIVE LOAD & L/360 FOR LIVE LOAD + DEAD LOAD. ATTIC NOT TO BE USED FOR STORAGE.
  - TRUSS MFG. TO PROVIDE TRUSS CLIPS FOR MULTIPLE PLY TRUSSES.
  - TRUSS MANUFACTURER SHALL DESIGN COMPLETE BRACING SYSTEM AND PROVIDE PLANS AND DETAILS OF BRACING AS PART OF TRUSS DRAWINGS SUBMITTAL. PROVIDE FULL BRACING REQUIRED FOR SUPPORT WITH NO INTERIOR OR EXTERIOR CEILING FINISHES.
- PROVIDE COMPLETE BRACING FOR PIGGY BACK TRUSSES.
- LAP SPLICES OF BRACING MEMBERS ACROSS (2) TRUSSES MINIMUM.

ROUGH CARPENTRY NOTES

- ALL ROUGH CARPENTRY SHALL CONFORM TO THE REQUIREMENTS OF THE NDS-2015.
- PROVIDE NO 2 OR BETTER SOUTHERN PINE WITH MAXIMUM 19% MOISTURE CONTENT FOR ALL FRAMING LUMBER TO INCLUDE UNTELS & BEAMS U.N.O. WALL STUDS & PLATES SPF NO. 1 OR 2.
- PROVIDE 2.0E MICROLAM (LVL) AND 1.8E PARALAM (PSL) MEMBERS WHERE INDICATED AS MANUFACTURED BY TRUS JOIST, BOISE, OR APPROVED EQUAL. FOLLOW MANUFACTURER'S RECOMMENDATION FOR CONNECTING MULTIPLE PLIES FOR SIDE OR TOP LOAD APPLICATIONS.
- FOLLOW MANUFACTURER'S RECOMMENDATION FOR FRAMING CONNECTIONS. FRAMING CONNECTIONS INDICATED REFERENCE SIMPSON PRODUCTS U.N.O.
- PROVIDE 3" MINIMUM END BEARING FOR LVL BEAMS U.N.O.
- PROVIDE (2)2X6 HEADER JACK STUDS AT ALL OPENINGS OVER 3'-6" UNLESS MORE ARE INDICATED.
- U.N.O. ALL EXTERIOR WALLS AND GABLE ENDS TO HAVE MIN. 7/16" OSB SHEATHING PANELS INSTALLED ALONG STUDS & CONTINUOUS HORIZONTAL BLOCKING W/ 6D NAILS @ 6" OC MAXIMUM EDGES & 8" OC MAX. CENTER STUD. ALL STUDS TO BE MAXIMUM OF 16" OC.



TYPICAL MULTI-PLY HEADER/BEAM DETAIL

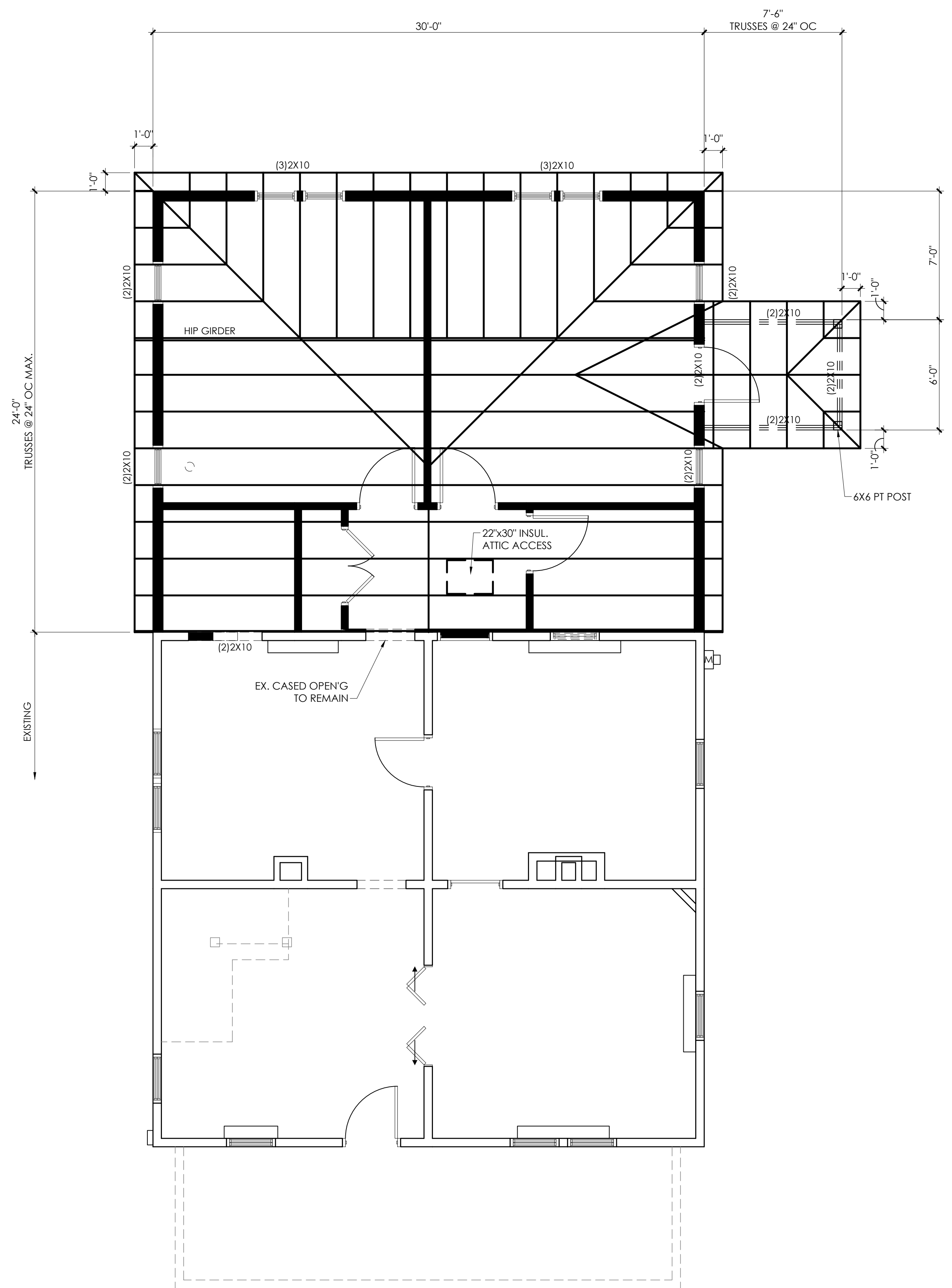


TYPICAL DETAIL AT POST COMPRISED OF MULTIPLE STUDS

1 1/2" = 1'-0"

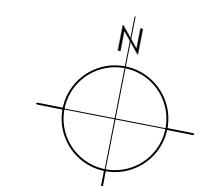
MEMBER	NAILS	CONNECTION
JOIST TO SILL OR GIRDER	(3)8d COMMON (3)3" X 0.131" DIA	TOE NAIL
BRIDGING TO JOIST	(2)8d COMMON (2)3" X 0.131" DIA	TOE NAIL EACH END
SOLE PLATE TO JOIST OR BLOCKING	16d COMMON AT 16" OC (3)3" X 0.131" DIA AT 8" OC	FACE NAIL
TOP PLATE TO STUD	(2) 16d COMMON (3)3" X 0.131" DIA	END NAIL
STUD TO SOLE PLATE	(4)8d COMMON (6)3" X 0.131" DIA	TOE NAIL
DOUBLED STUDS	(2) 16d COMMON (3)3" X 0.131" DIA	END NAIL
DOUBLED TOP PLATE	16d COMMON AT 16" OC (3)3" X 0.131" DIA AT 8" OC	FACE NAIL
DOUBLED TOP PLATE LAP SPICE	(8) 16d COMMON (12)3" X 0.131" DIA	FACE NAIL
TOP PLATE INTERSECTIONS	(2) 16d COMMON (3)3" X 0.131" DIA	FACE NAIL
CONTINUOUS HEADER MULTIPLY	16d COMMON AT 16" OC	FACE NAIL ALONG EACH EDGE
CONTINUOUS HEADER TO STUD	(4)8d COMMON	TOE NAIL
BUILT-UP CORNER STUDS, EACH BRG	16d COMMON AT 24" OC (3)3" X 0.131" DIA AT 16" OC	FACE NAIL
RIM JOIST TO TOP PLATE	8d COMMON AT 8" OC (3)3" X 0.131" DIA AT 6" OC	TOE NAIL

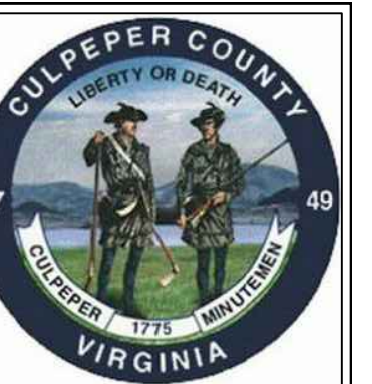
NOTE: USE NAILS SPECIFIED BY MANUFACTURER FOR ALL MANUFACTURED METAL CONNECTORS (SIMPSON STRONG-TIE OR EQUIVALENT HANGERS, UPLIFT ANCHORS, ETC.)



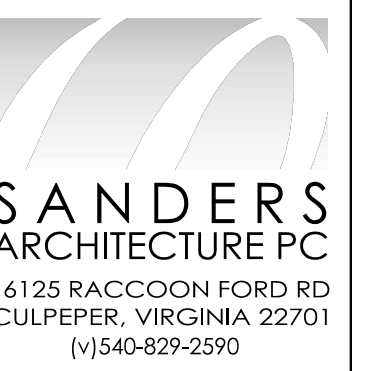
ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



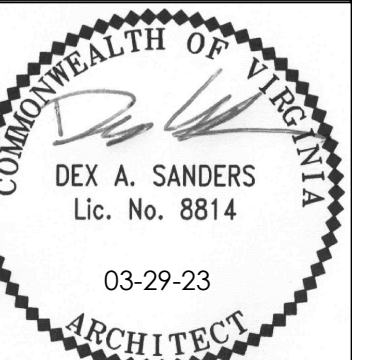


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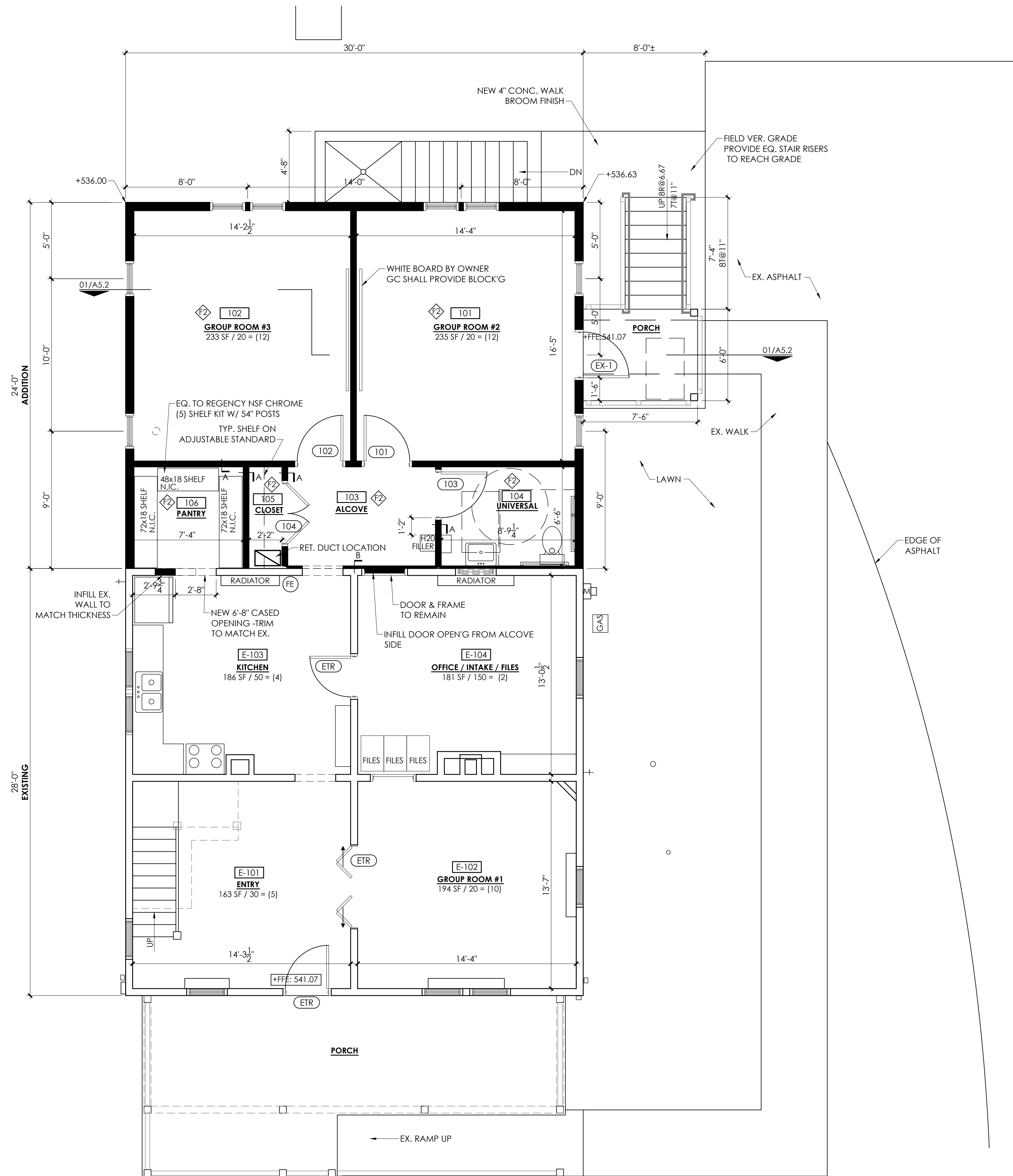
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ADDITION  
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CULPEPER, VIRGINIA 22701



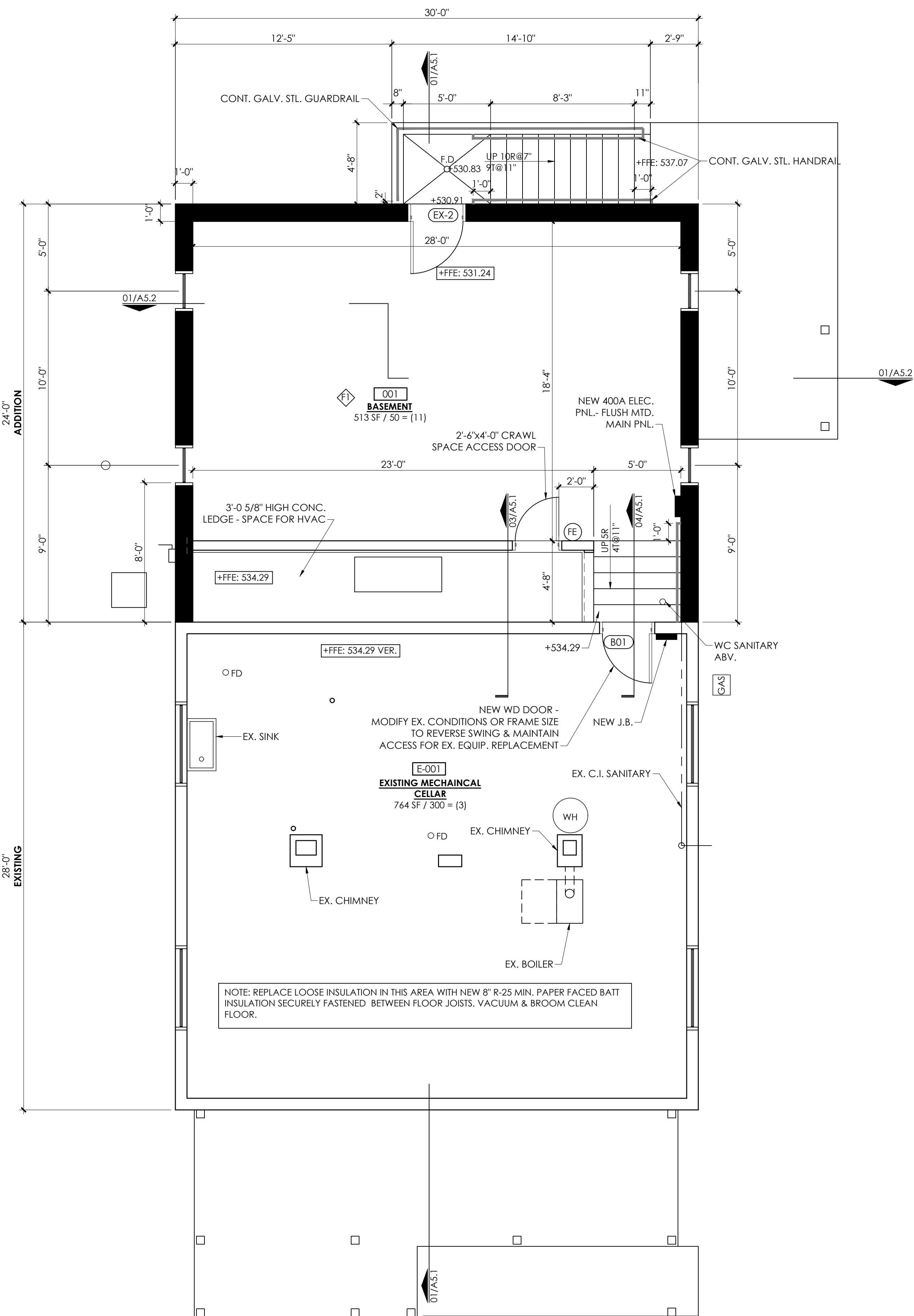
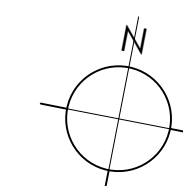
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REV #1	REVIEW 09-19-23
REV #2	RE-BID 05-08-24
DRAWN:	DAS
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SCALE:	NOTED
DATE:	03-29-23
PROJECT #:	2127

FLOOR PLAN

A1.1



FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"

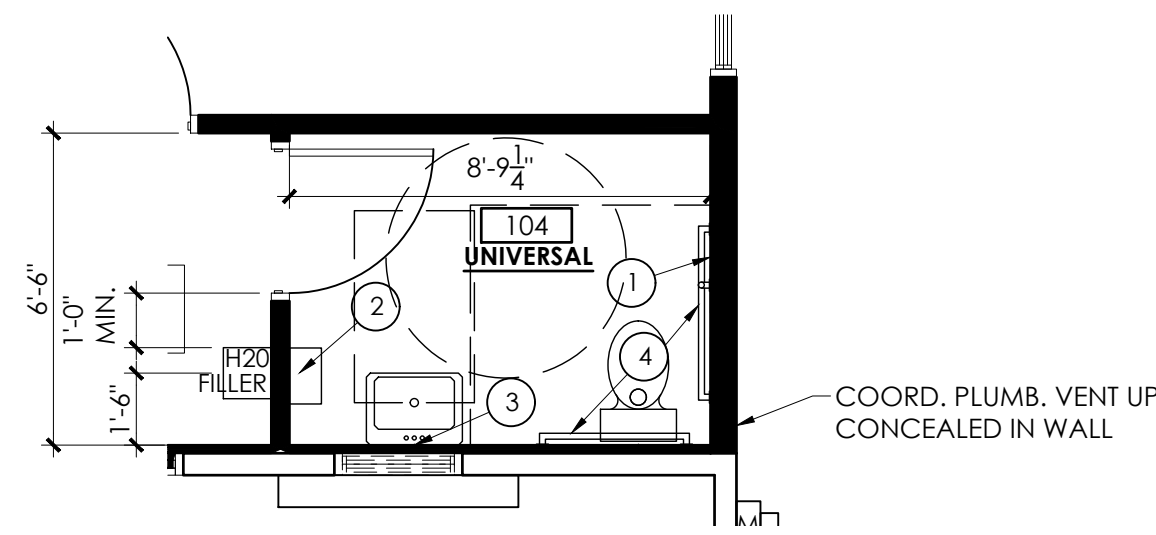


## FINISH SCHEDULE FI

- GENERAL FINISH NOTES:**
- SEE CEILING PLAN FOR EXTENT OF PAINTED SOFFITS & SUSPENDED CEILING.
  - COLORS TO BE SELECTED BY OWNER
  - PROVIDE MR GPDW BEHIND ALL TILED WALLS
  - PROVIDE SW DURATION PAINT FOR INTERIOR PUBLIC SPACES TO INCLUDE GROUP ROOMS, ALCOVE AND TOILET.

**F-1**  
 FLOOR - CLEAR CONCRETE SEALER  
 BASE - 4" RUBBER  
 WALLS - PTD EGG SHELL ENAMEL  
 TRIM - PTD. SEMI-GLOSS  
 CEILING - PTD. EGG SHELL ENAMEL

**F-2**  
 FLOOR - LVT -1 EQ. TO INTERFACE  
 BASE - WOOD WM 620 W/ WM127 SHOE - PTD SEMI-GLOSS  
 WALLS - PTD SEMI-GLOSS ENAMEL  
 TRIM - WOOD WM412 W/ WMS20 TOP CAP - PTD SEMI-GLOSS  
 CEILING - PTD. EGG SHELL ENAMEL



**ENLARGED TOILET PLAN**

SCALE: 1/4" = 1'-0"

### WASHROOM ACCESSORIES 1

- TOILET TISSUE HOLDER: BOBRICK SS NON-SECURITY DOUBLE ROLL HOLDER. (1) AT EACH TOILET.
- HAND TOWEL DISPENSER PROVIDED BY OWNER AND INSTALLED BY GC. MOUNT 48" TO TOP OF OPERABLE PARTS.
- MIRROR: LENGTH OF COUNTER OR LAV. (24" WIDE MIN) x 3'-0" HIGH 1/2" FLOAT GLASS FRAMED MIRROR - SECURELY GLUED & CLIPPED TO WALL. MIRROR SHALL BE GUARANTEED AGAINST SILVER SPOILAGE FOR 15 YEARS.
- TOILET STALL GRAB BARS: EQ. TO ASI 3800 SERIES W/ INTEGRAL NON-SLIP SURFACE. PROVIDE (1) 42" LONG & (1) 36" & (1) 18" LONG GRAB BAR AS INDICATED IN EACH ACCESSIBLE TOILET STALL.

NOTE: CONTRACTOR TO VERIFY BLOCKING LOCATIONS OF ALL ACCESSORIES, INCLUDING SOAP & TOWEL DISPENSERS PROVIDED BY OWNER.

### BUILT-IN SHELF NOTES

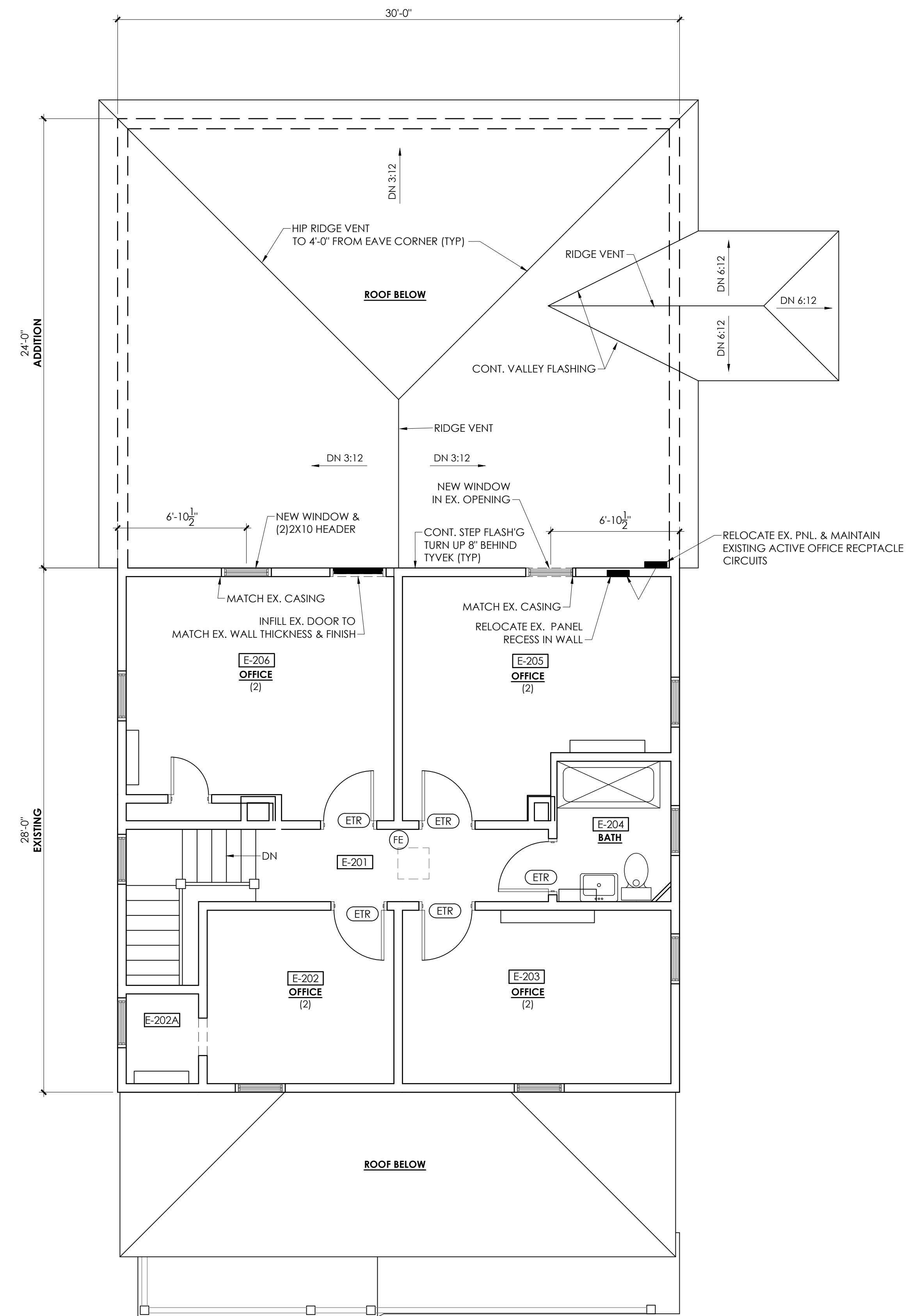
- WHERE UTILITY TYPE SHELVES ARE INDICATED IN CLOSETS, AND JANITOR CLOSET BY A DASHED LINE. PROVIDE 3/4" THICKNESS A/B PTD. PLYWD SHELVES MIN 12" WIDE. INSTALL SHELVES ON HEAVY-DUTY ADJUSTABLE SHELF STANDARDS AND SNAP-IN PLACE BRACKETS OF THE PROPER WIDTH. U.N.O. PROVIDE (1) SHELF AND 24" LONG SHELF STANDARD BRACKETS @ 16" OC.

## WALL TYPES A

- NOTES:
- PROVIDE 3" SOUND BATTS INSULATION IN ALL INTERIOR PARTITIONS BETWEEN ACOUSTICALLY SEPARATED AND OCCUPIED SPACES TO INCLUDE GROUP ROOMS AND TOILET U.N.O.
  - SEAL AROUND ALL EDGES AT SOUND PARTITIONS WITH FLEXIBLE SEALANT.
  - PROVIDE MR GPDW AT WET WALLS (WHERE NOT FIRE RATED)
  - ALL PARTITIONS TO EXTEND TO U/S OF ROOF STRUCTURE U.N.O. SEE FLOOR PLAN & SECTIONS. ALLOW FOR TRUSS MOVEMENT IN GWB INSTALLATION.
  - THICKEN PARTITIONS & PROVIDE CHASES TO CONCEAL MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS.

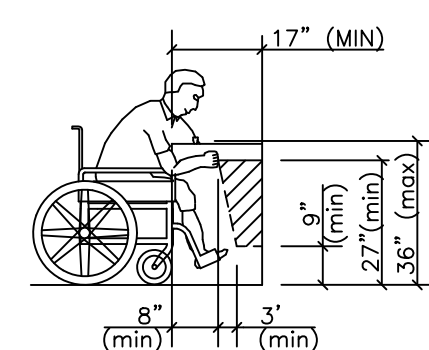
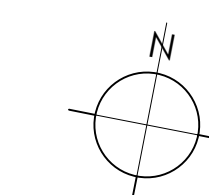
TYPE 'A' 1/2" GWB EACH SIDE ON 2X4 STUDS @ 16" OC MAX. (3" SOUND BATTS) - **TYPICAL ALL WALLS U.N.O.**

TYPE 'B' 1/2" GWB 2X2 WD STUDS @ 16" OC MAX.

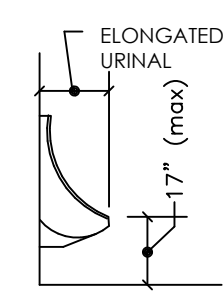


**2ND FLOOR PLAN**

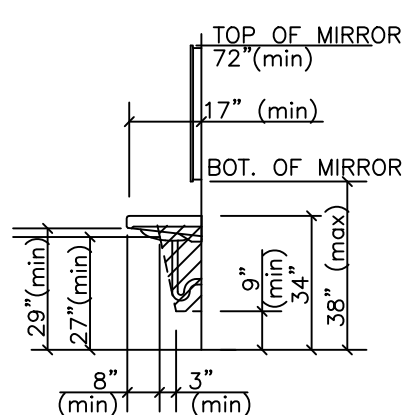
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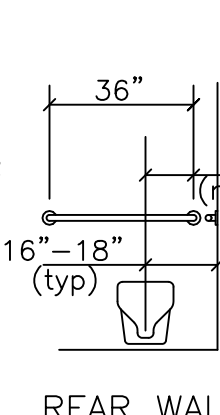
**WATER COOLER**



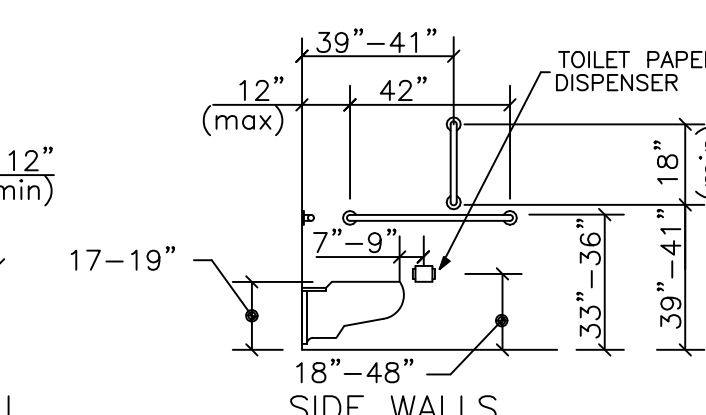
**URINAL**



**LAVATORY**



**WATER CLOSETS**



**TOWEL DISPENSER/  
WASTE RECEPTACLE**

REACH HEIGHTS SHOWN ARE TYPICAL TO OPERABLE PARTS FOR ALL DEVICES INCLUDING RECEPTACLES / PULL STATIONS

EQUIPMENT PERMITTED IN HATCHED AREAS TO BE CONFIGURED TO PROTECT AGAINST CONTACT. STANDARDS SHOW TYPICAL ACCESSIBLE MOUNTING HEIGHTS & CLEARANCES. SPECIFIED PRODUCTS MAY VARY FROM DETAIL IMAGE. SPECIAL MOUNTING HEIGHTS MAY BE INDICATED ON OTHER SHEETS. ORDER TOILETS WITH FLUSH VALVES ON THE OPEN SIDE OF THE TOILET. REACH HEIGHTS SHOWN ARE TO OPERABLE PARTS (TYPICAL)



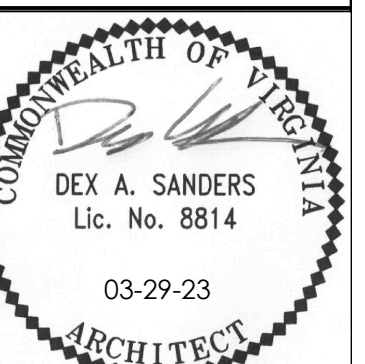
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CULPEPER COUNTY OPTIONS

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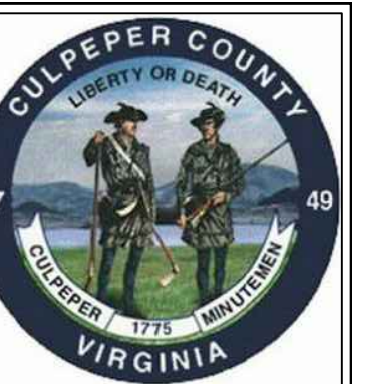
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 SCALE: NOTED  
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 PROJECT #: 2127

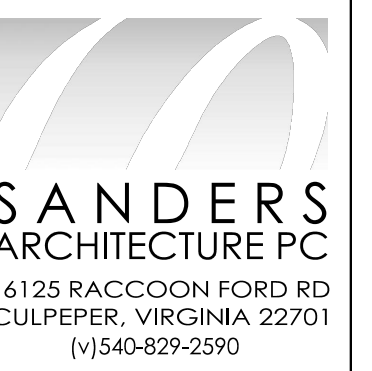
FLOOR PLAN

**A1.2**

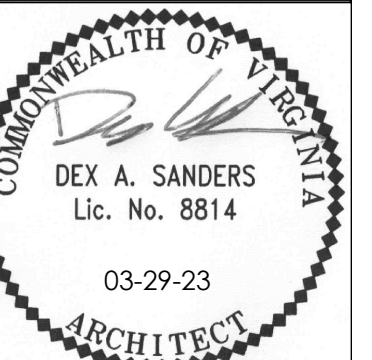




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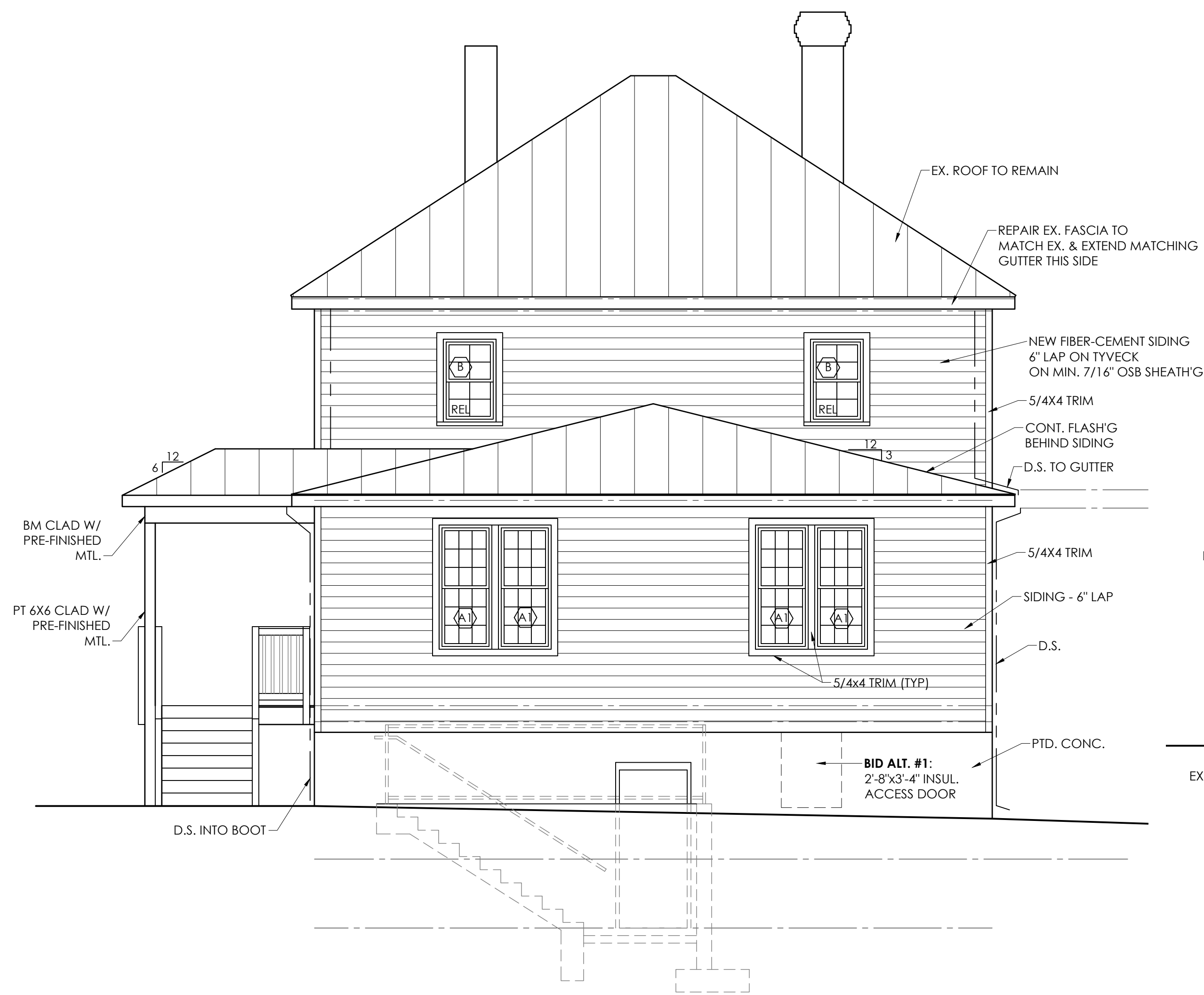
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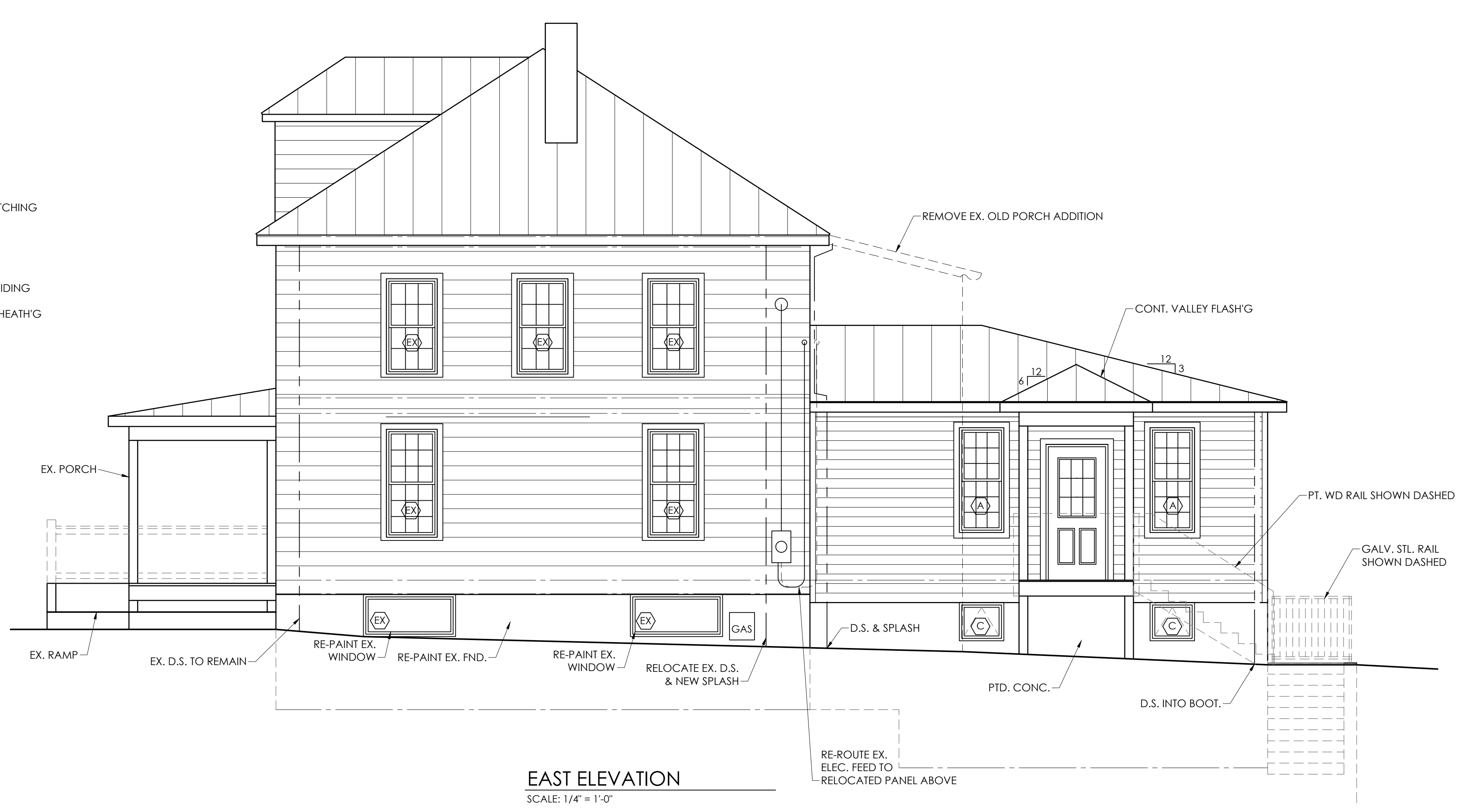
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ELEVATIONS

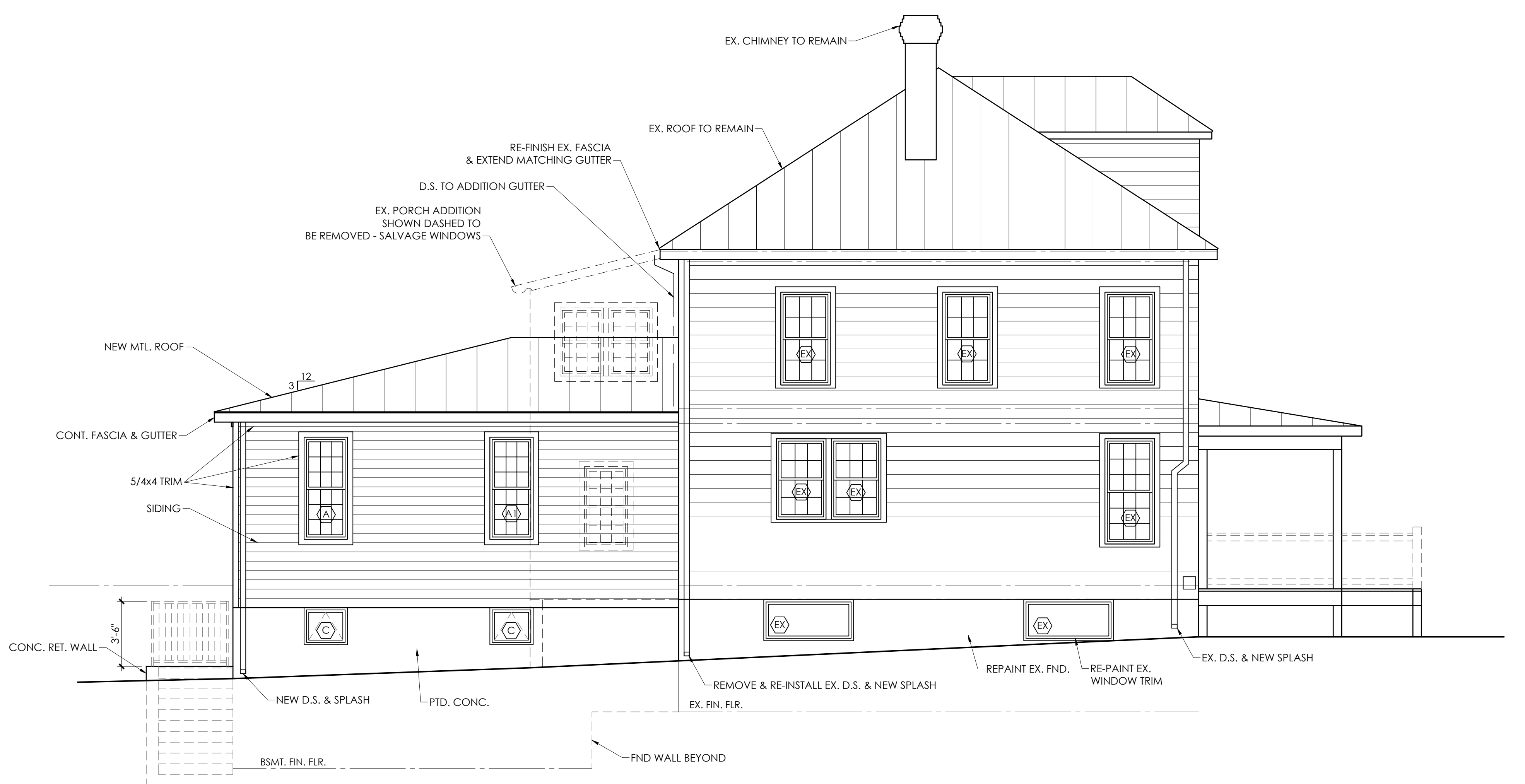
A4.1



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**WINDOW TYPE SCHEDULE**  
EXISTING WINDOW SIZES BASED ON INSIDE FIELD MEASUREMENTS OF FRAME. VERIFY EXISTING WINDOW SIZES BEFORE ORDERING MATCHING WINDOWS.

MODEL	UNIT SIZE	TYPE	
(A)	EXISTING RELOCATED	2'-4" x 5'-6"	DH - VINYL
(A1)	NEW TO MATCH EXISTING	2'-4" x 5'-6"	DH - VINYL
(B)	EXISTING RELOCATED	2'-4" x 3'-8"	DH - VINYL
(C)	NEW	2'-4" x 2'-0"	AWNING - VINYL

TILT WASH DOUBLE HUNG W/ SIMULATED DIVIDED LITES, INSECT SCREEN LOCKING HARDWARE & JAMB EXTENSION TO MATCH FINISHED WALL THICKNESS.

AWNING UNIT: W/ TEMPERED GLASS, MASONRY CLIP ANCHORAGE.

UNIT PERFORMANCE NEW UNITS  
U-VALUE 0.30 MAX.  
SHGC 0.28 MAX.

HIGH PERFORMANCE LOW E4 COATING / ARGON FILLED. PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE.

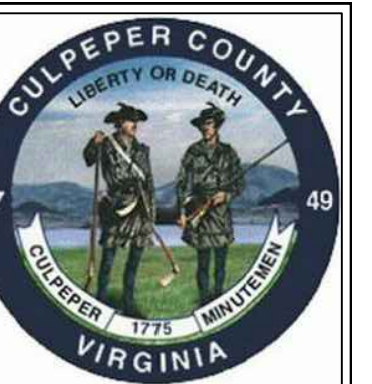
WHITE FRAME COLOR

DUE TO DIFFERENCES AND CHANGES IN WINDOW MANUFACTURED UNIT SIZES, VERIFY ROUGH AND MASONRY OPENING OF WINDOW TO BE INSTALLED BEFORE FRAMING.

**BUILDING ROOF DRAINAGE**

1. PROVIDE CONTINUOUS GUTTERS W/ LEAF GUARDS AS SELECTED BY OWNER AROUND PERIMETER OF ADDITION ROOF EAVES. GUTTERS TO BE NOM. 6" (K6 SIZE) OGEE PROFILE PRE-FINISHED ALUM. HEAVY DUTY, 0.032 COMMERCIAL TYPE. INSTALL GUTTERS SEAMLESS IN LENGTHS AS LONG AS PRACTICABLE. PROVIDE EXPANSION SLIP JOINTS TO PROVIDE FOR MOVEMENT WHERE NECESSARY. ATTACH GUTTERS W/ HEAVY-DUTY STRAP TYPE ANCHORS FASTENED SECURELY TO THE ROOF STRUCTURE @ 4'-0" MAX. SET GUTTER ELEVATION FOR ROOF SLOPE SO HEAVY RAIN DOES NOT RUN OVER GUTTER.
2. PROVIDE PRE-FINISHED ALUM. DOWNSPOUTS IN NOMINAL 4" RECTANGULAR PROFILE (4" X 3"). PROVIDE ALL JOINTS, SEAMS AND STRAPS NECESSARY FOR A COMPLETE INSTALLATION. PROVIDE WHITE PVC BOOTS FOR TRANSITION INTO 6" UNDERGROUND DRAINAGE PIPING TO EXTEND 2" ABOVE SLAB - WHERE INDICATED. PROVIDE COMPOSITE SPLASH BLOCKS FOR SURFACE DISCHARGE AT ALL NEW & EXISTING D.S.
3. PROVIDE MISC. ROOF WATER DIVERTERS AS REQUIRED TO CHANNEL WATER TO GUTTERS AND TO DIRECT WATER IN A CONTROLLED MANNER. D.S., GUTTER & MISC. PARTS COLOR TO BE SELECTED BY OWNER.
4. PROVIDE COMPLETE UNDERGROUND PIPING TO CHANNEL WATER AWAY FROM THE BUILDING AND ENTRANCES TO DAYLIGHT IN THE EXISTING YARD. VERIFY PROPOSED EXIT LOCATION WITH ARCHITECT / OWNER.

DO NOT TIE ROOF DRAINAGE INTO FOUNDATION DRAINS.



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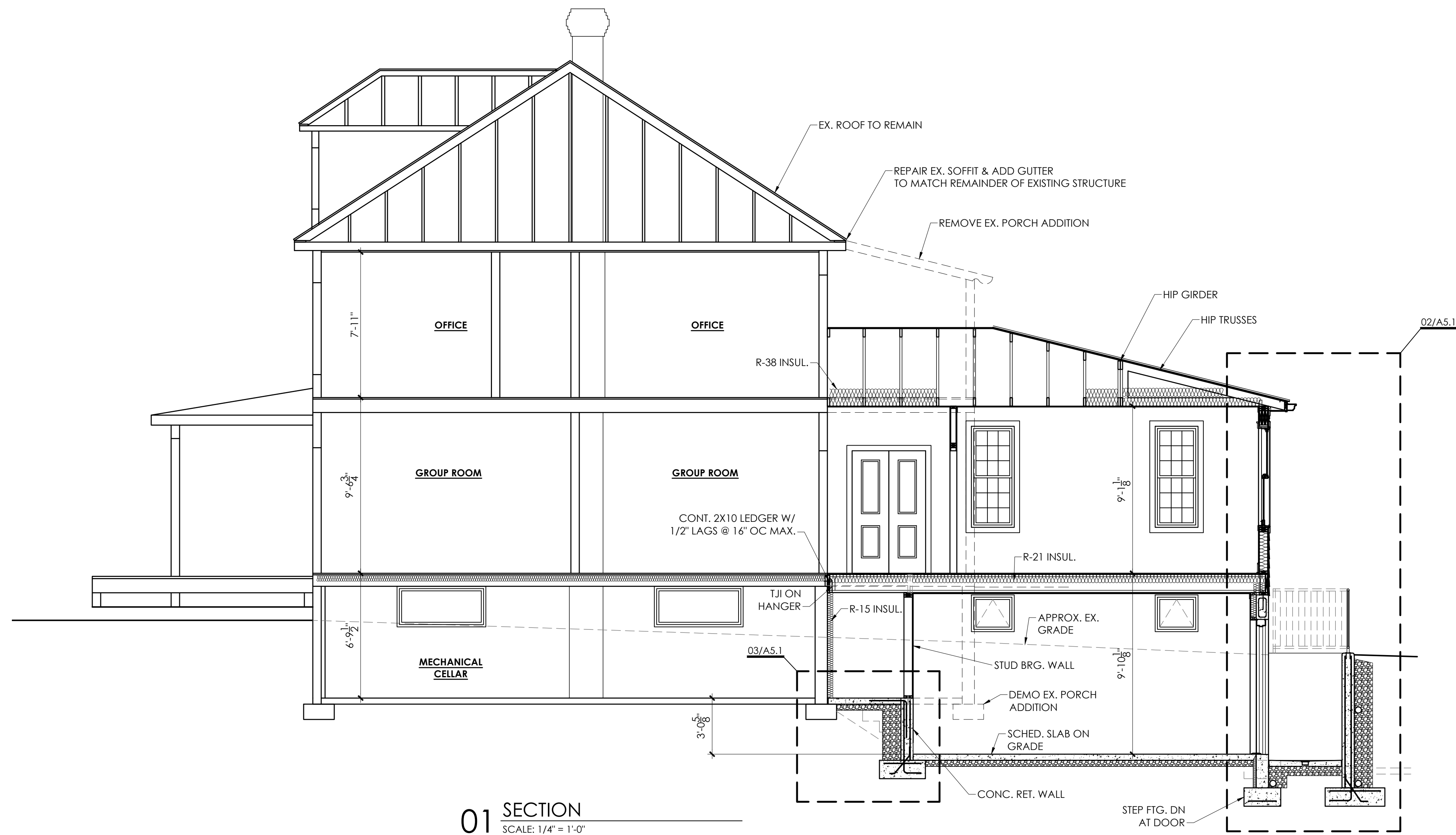
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COMMONWEALTH OF VIRGINIA  
 DEX A. SANDERS  
 Lic. No. 8814  
 03-29-23  
 ARCHITECT

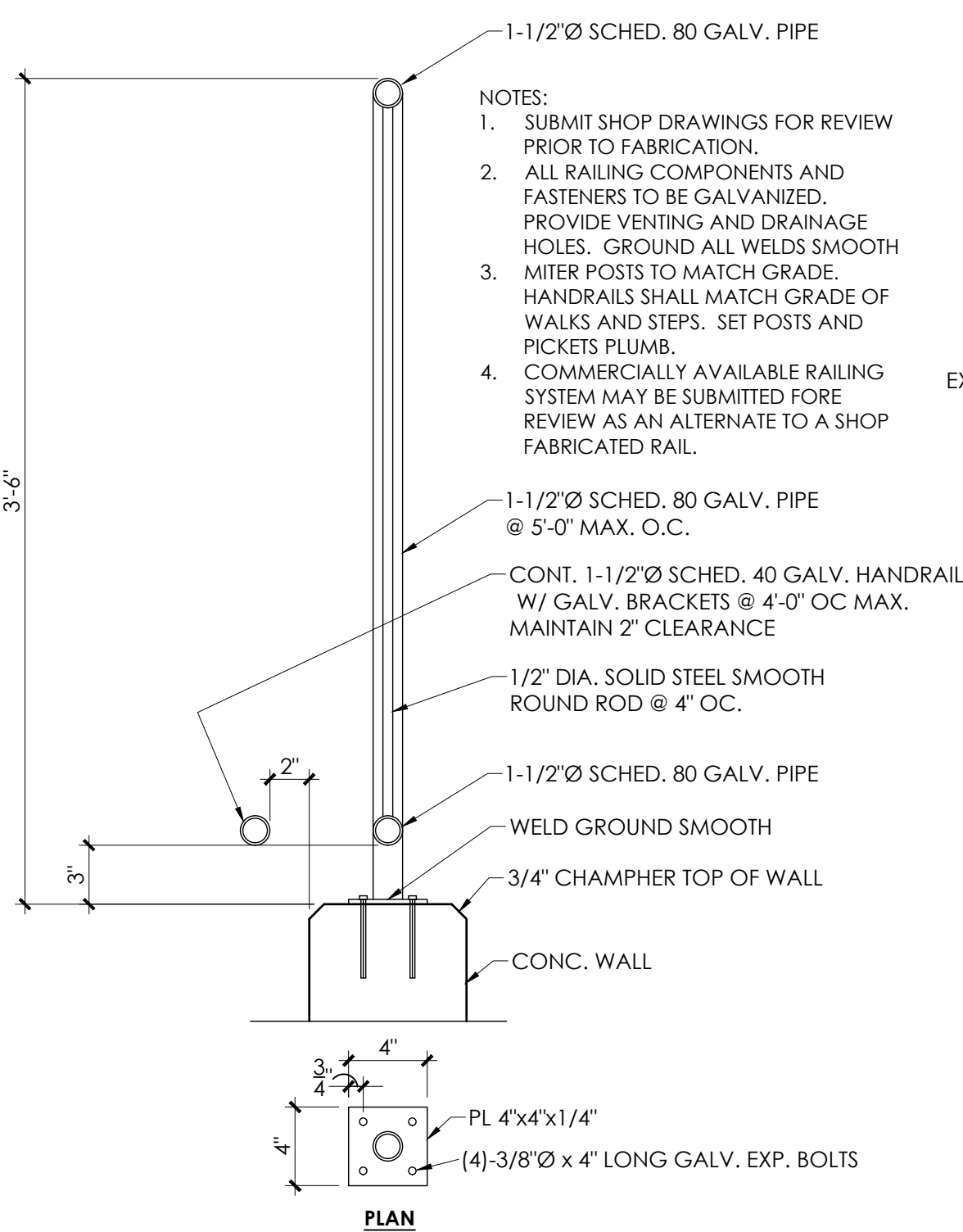
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SECTIONS & DETAILS

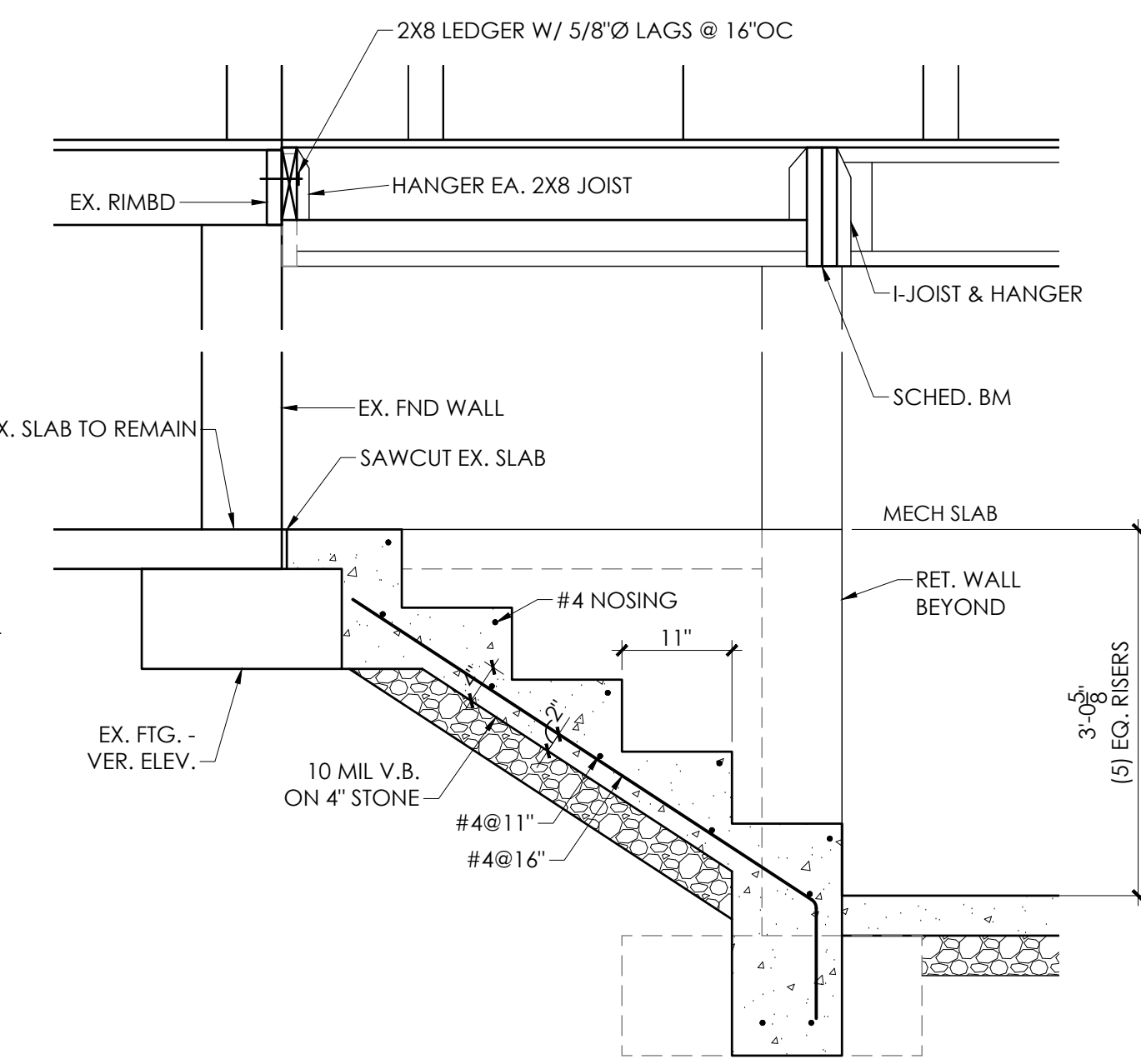
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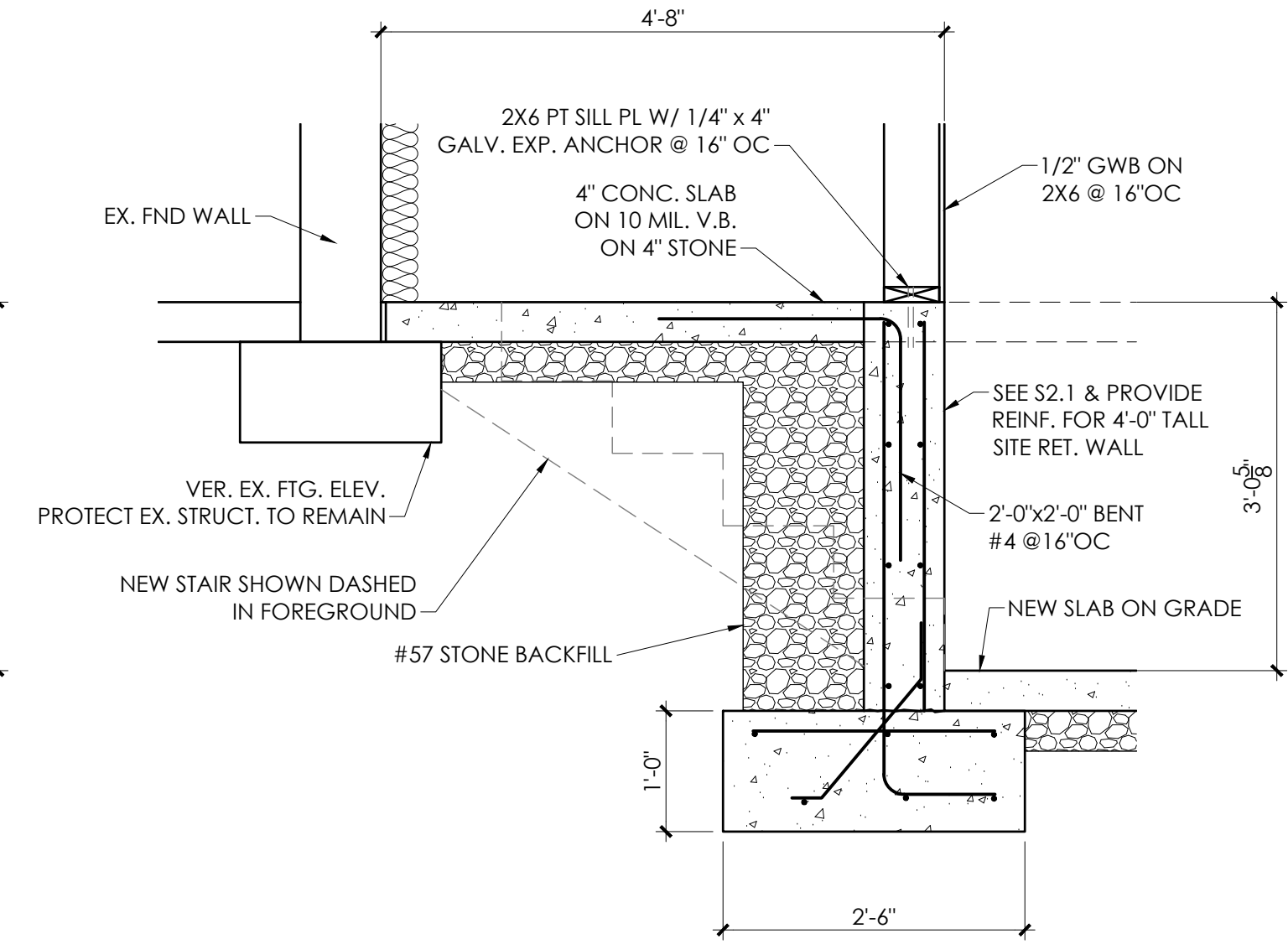
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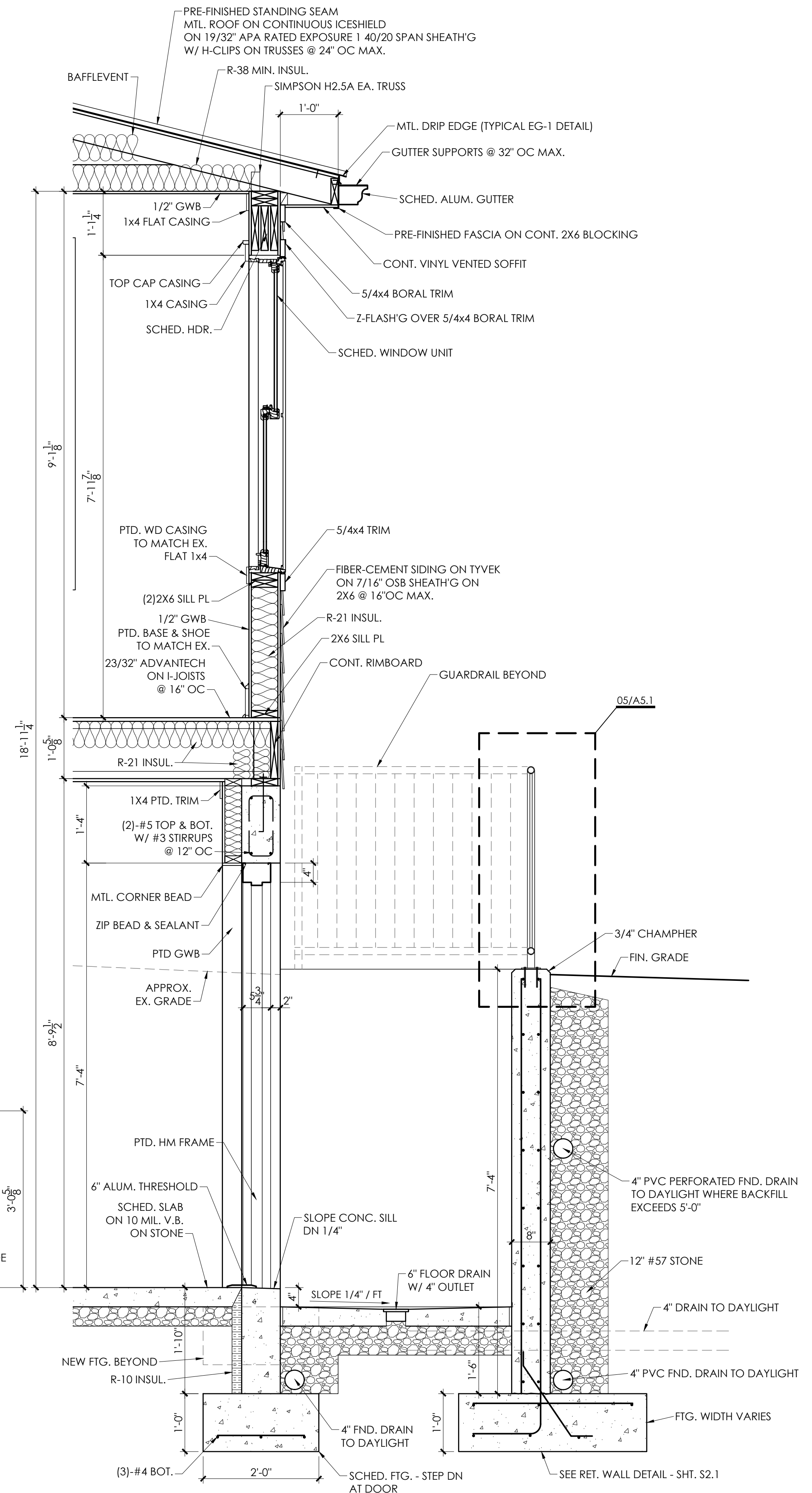
**05 STEEL GUARDRAIL DETAIL**  
 SCALE: 1-1/2" = 1'-0"



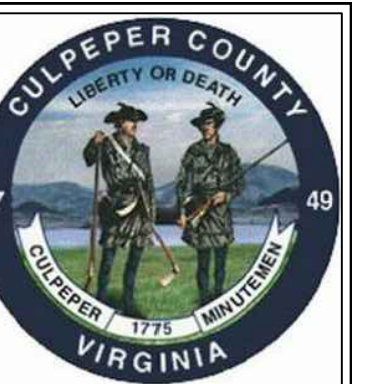
**04 SECTION**  
 SCALE: 3/4" = 1'-0"



**03 SECTION**  
 SCALE: 3/4" = 1'-0"



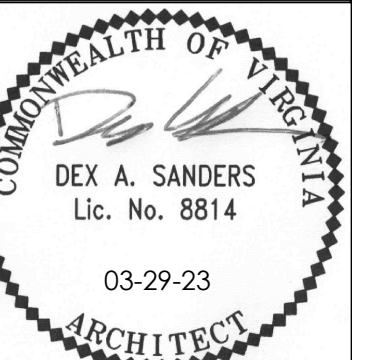
**02 SECTION**  
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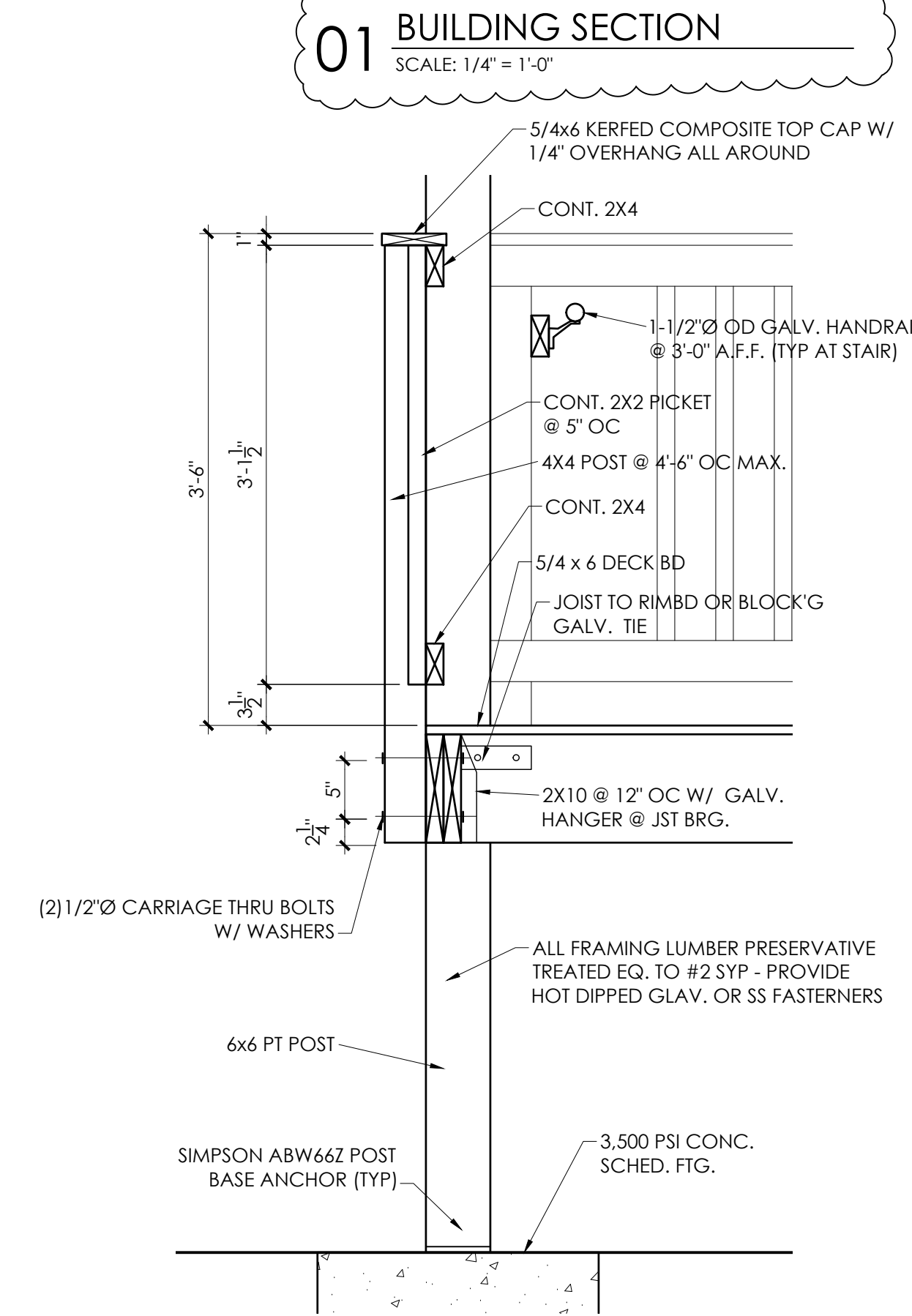
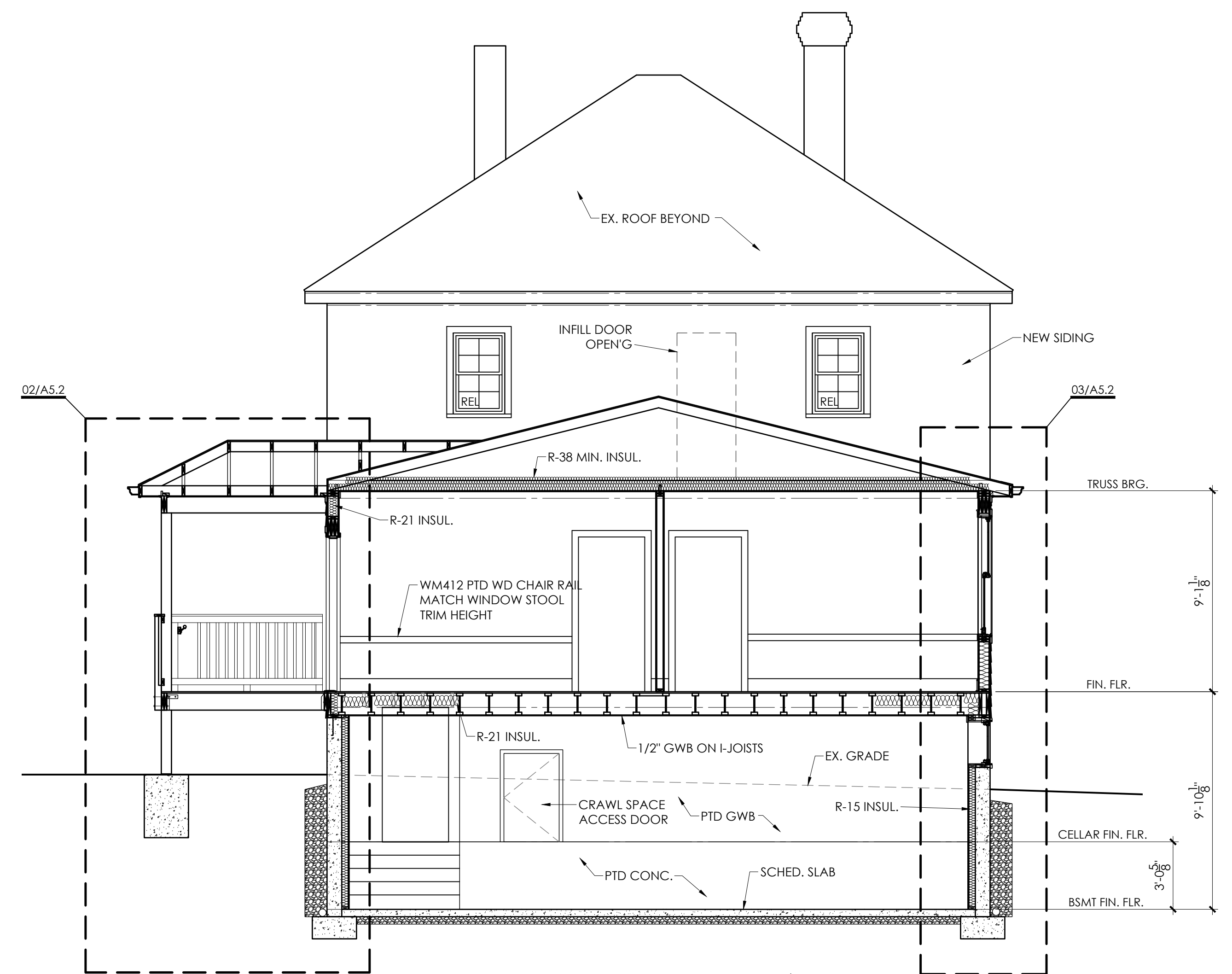
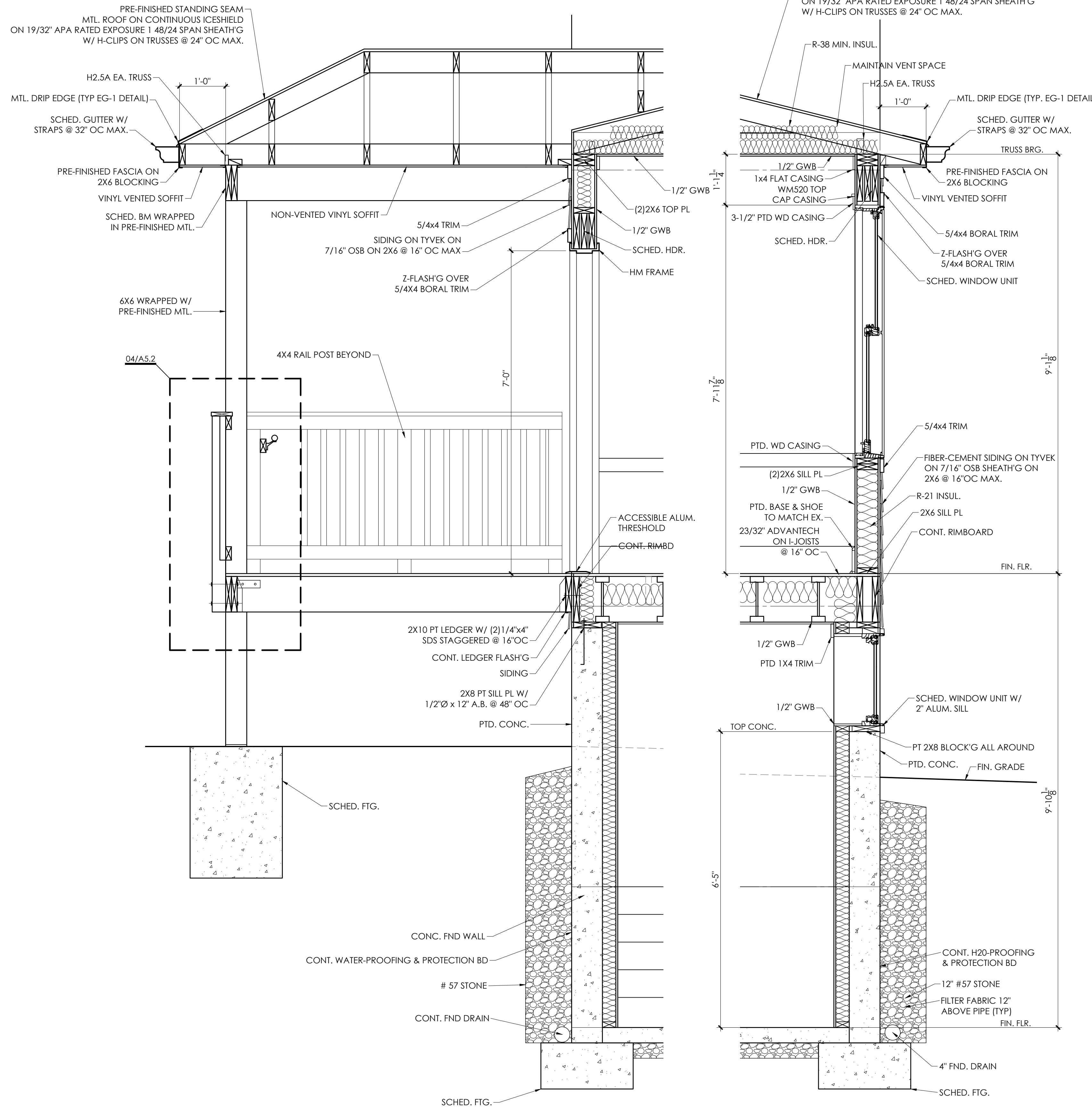
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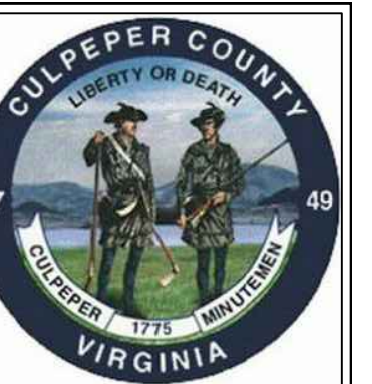


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SECTIONS & DETAILS

A5.2

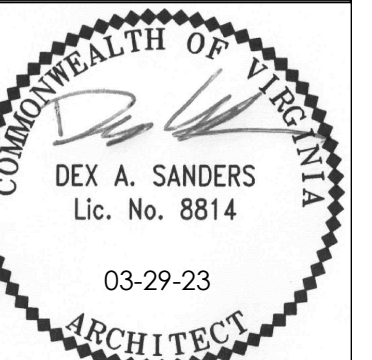




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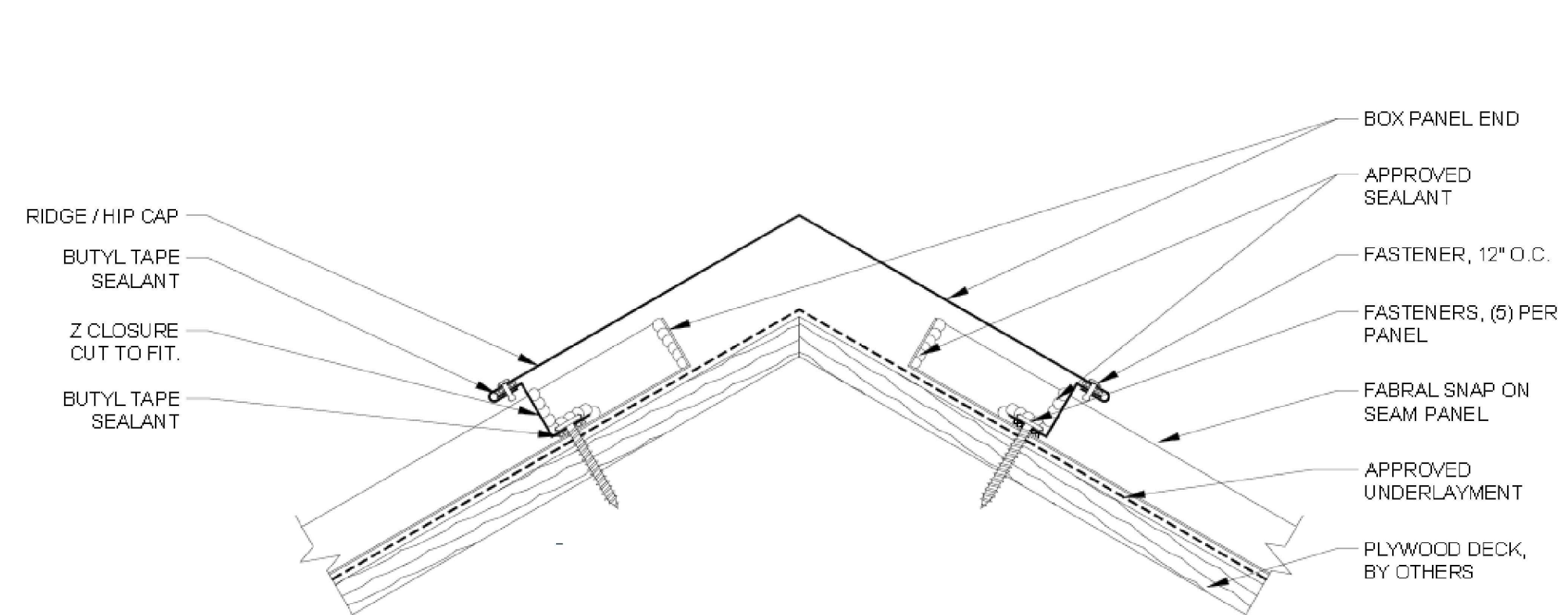
CULPEPER COUNTY OPTIONS  
 ADDITION  
 13033 JAMES MADISON HIGHWAY  
 CULPEPER, VIRGINIA 22701



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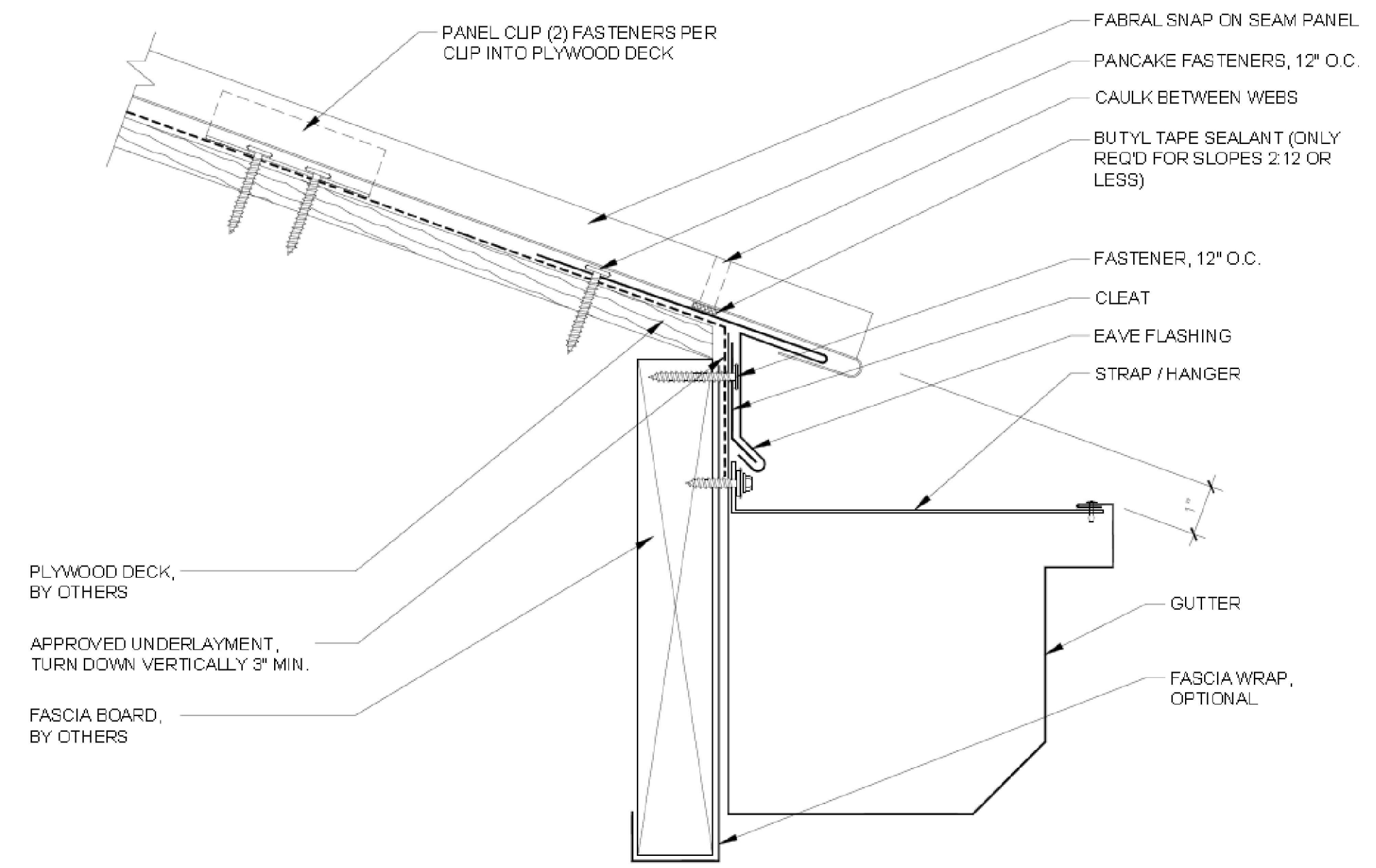
ROOF DETAILS

A6.1



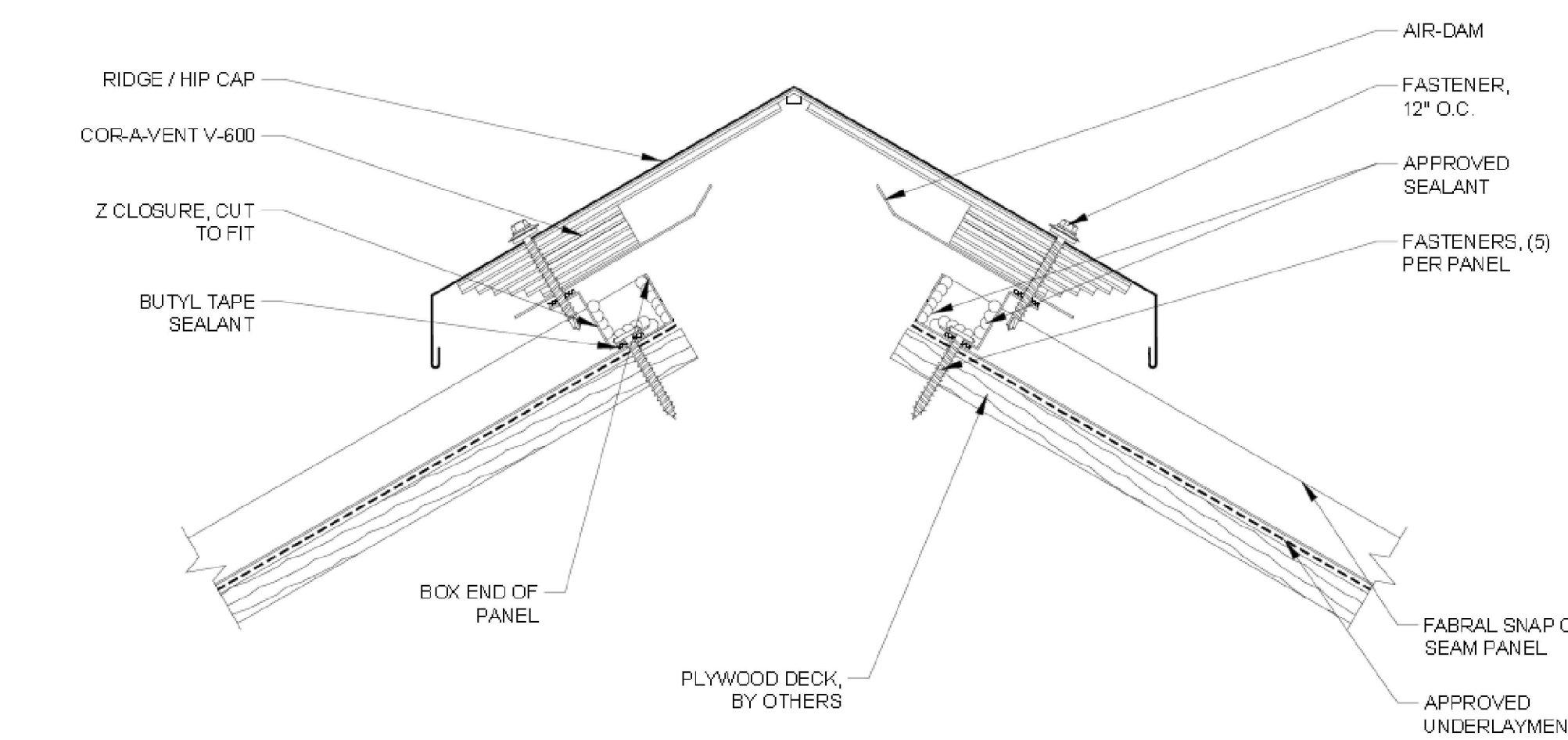
FIXED HIP / RIDGE DETAIL (HR-1)

SCALE: NONE



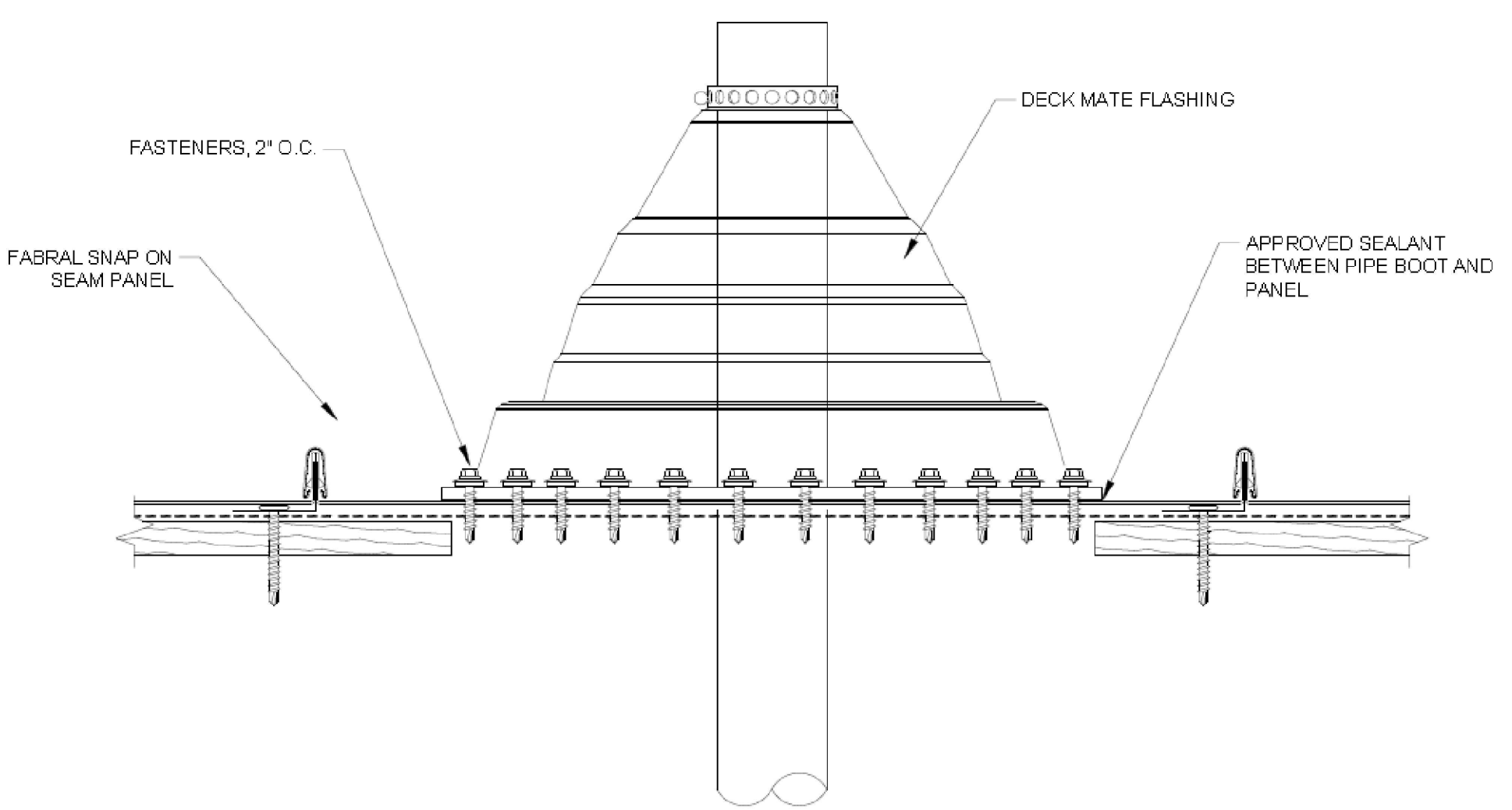
TYPICAL GUTTER EAVE DETAIL (EG-1)

SCALE: NONE



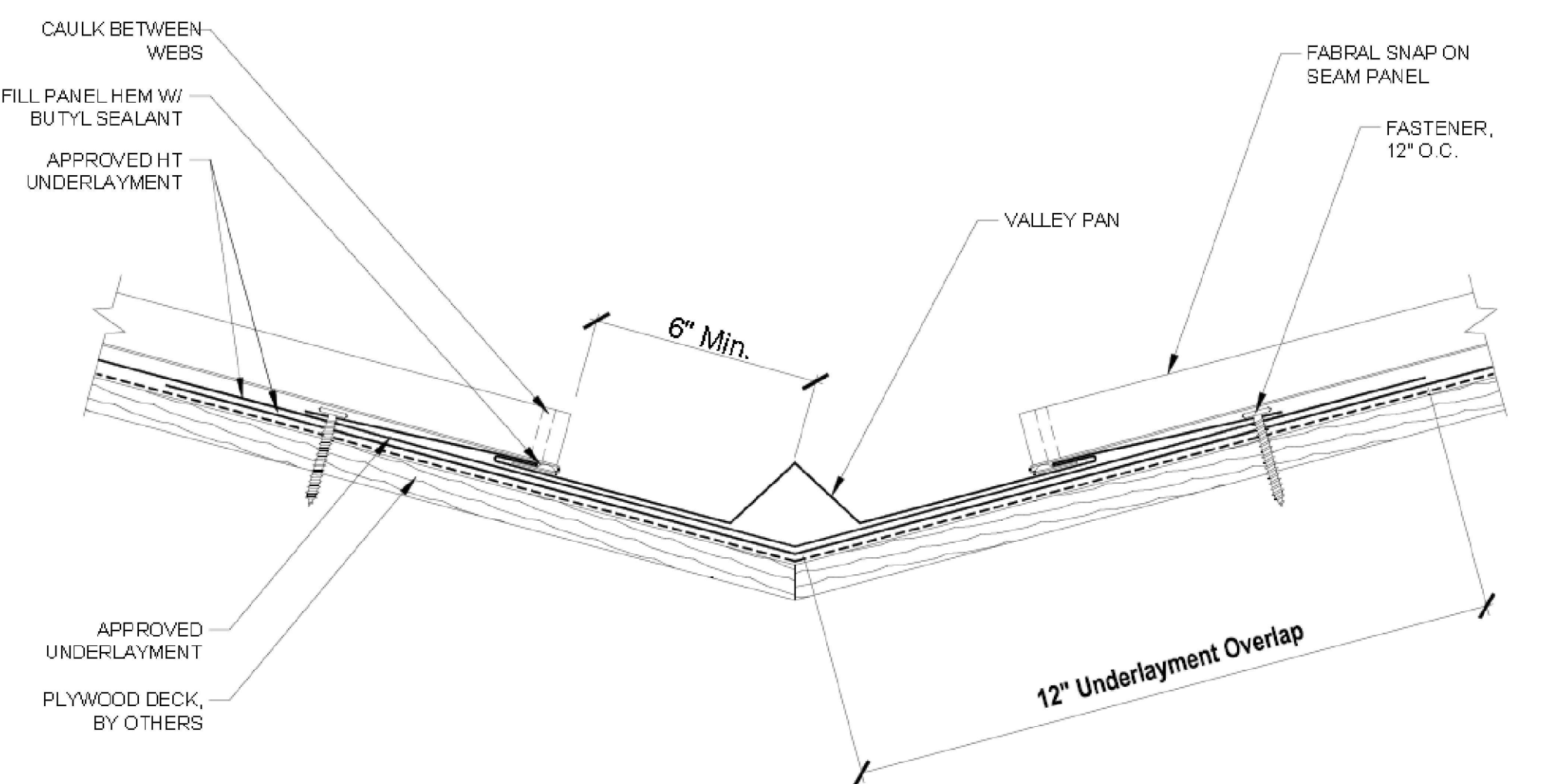
VENTED HIP / RIDGE DETAIL (HR-1)

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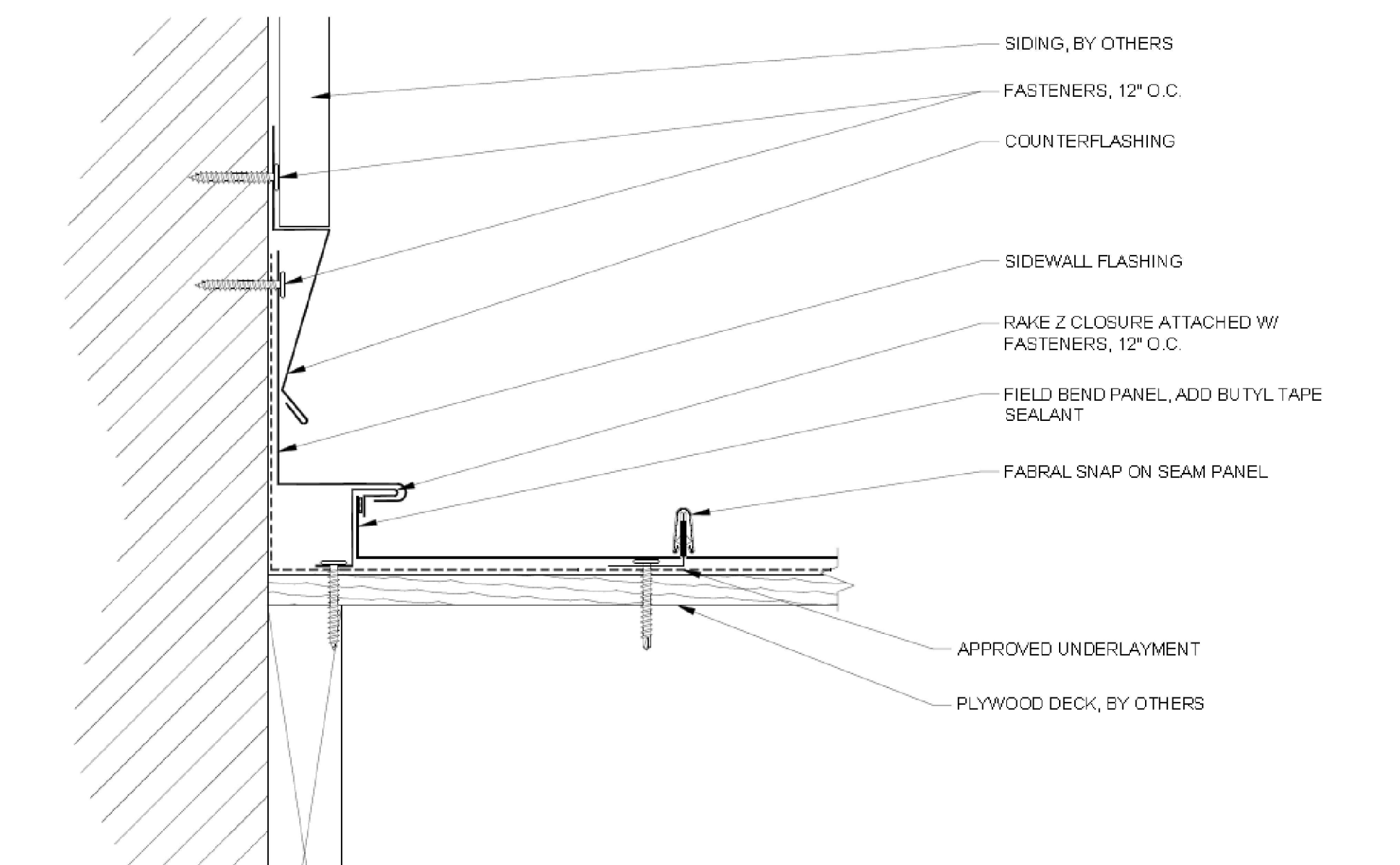
PENETRATION DETAIL (P-1)

SCALE: NONE



VALLEY DETAIL (V-2)

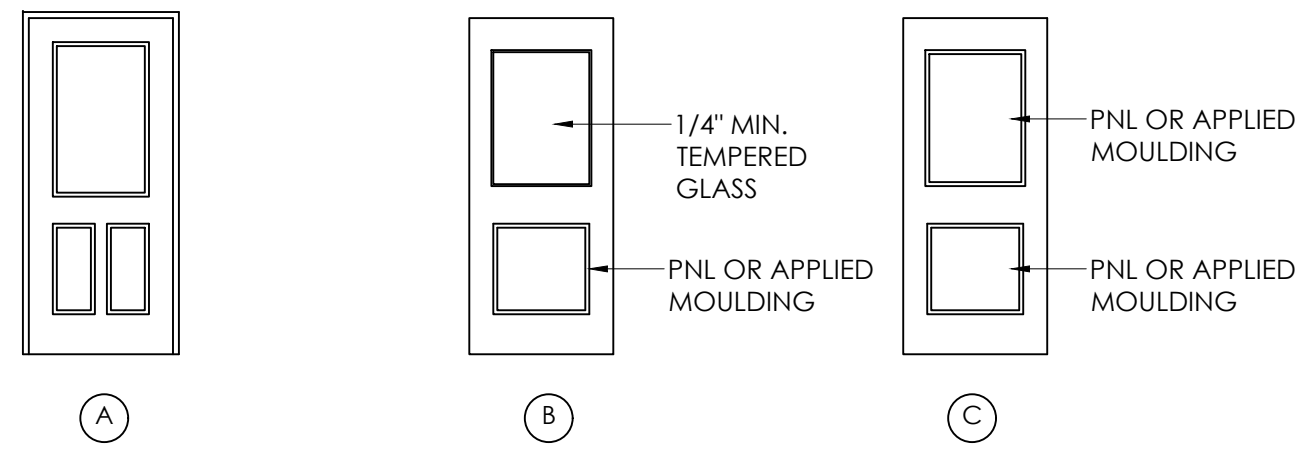
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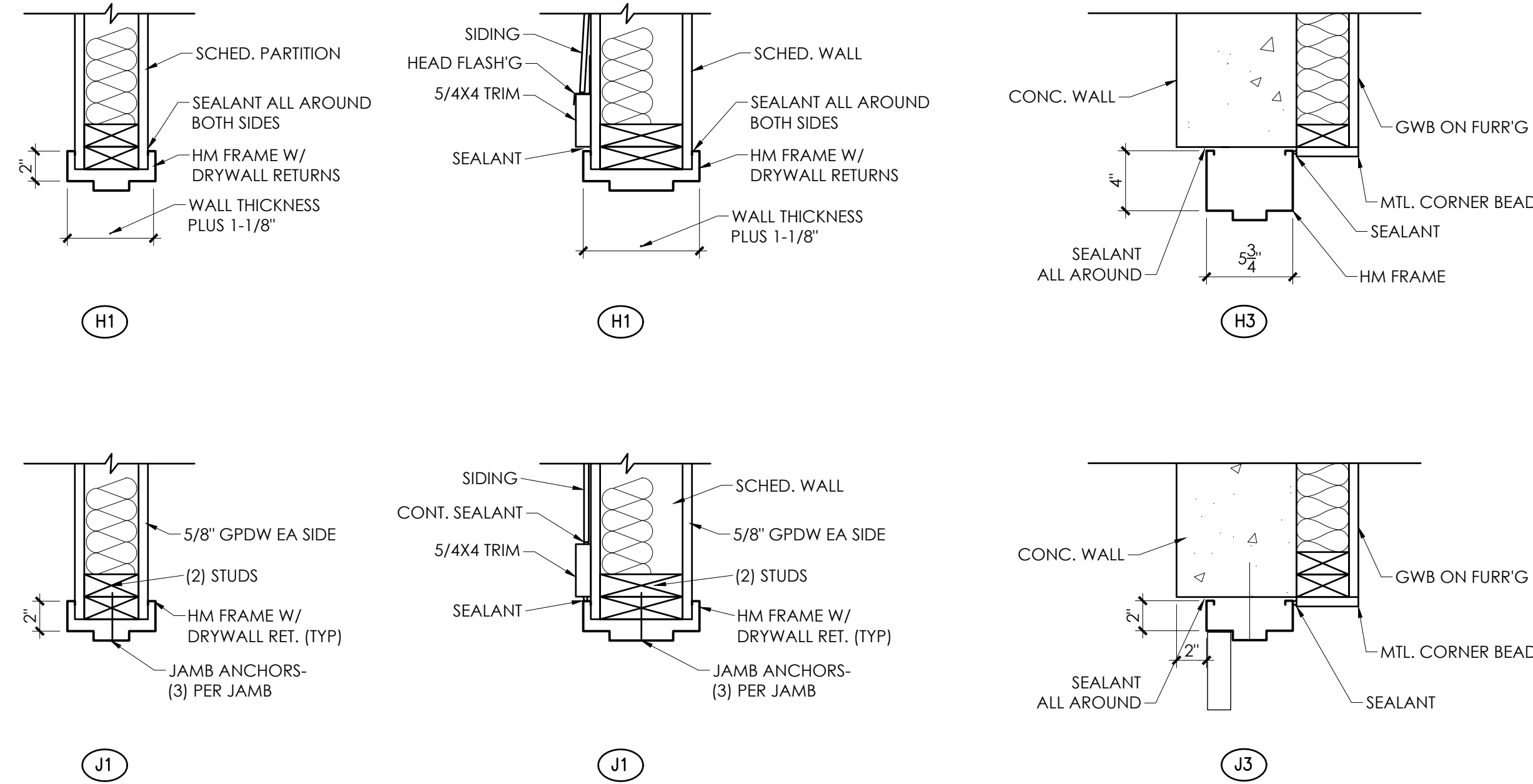
SIDEWALL DETAIL (SW-3)

SCALE: NONE

**DETAIL NOTE:**  
 DETAILS DEPICTED THIS SHEET ARE BASED ON FABRAL SNAP-ON-SEAM ROOFING AND ARE INTENDED TO SHOW ROOFING SPECIFIC DETAILS ONLY. ROOFING INSTALLER SHALL PROVIDE DETAILS AND MATERIALS NECESSARY AND RECOMMENDED BY THE APPROVED ROOFING MANUFACTURER TO PROVIDE THE INDICATED ROOFING WARRANTY.



**DOOR TYPES**  
SCALE: 1/4" = 1'-0"



**FRAME DETAILS**  
SCALE: 1-1/2" = 1'-0"

DOOR SCHEDULE	DOOR NO.	DOOR					FRAME					REMARKS	
		SIZE W X H X T	MAT'L	FIN	TYPE	LOUVER	MAT'L	FIN	DETAIL		U. L. LABEL		HDW SET
									HEAD / JAMB	THRES			
	EX-1	3'-0"x7'-0"x1-3/4"	STEEL	PTD	A	-	HM	PTD	H2/J2	ALUM.	-	-	LEVER LOCKSET, CLOSER
	EX-2	3'-0"x7'-0"x1-3/4"	STEEL	PTD	A	-	HM	PTD	H3/J3	ALUM.	-	-	LEVER LOCKSET, CLOSER
	B01	2'-10"x6'-0"x1-3/4"	WD	PTD	C	-	WD	PTD	EXISTING	-	-	-	REPLACE DOOR TO REVERSE SWING, NEW WEATHERSTRIPPING
	101	3'-0"x7'-0"x1-3/4"	WD	PTD	B	3/4" UC	HM	PTD	H1/J1	-	-	-	PASSAGE LATCHSET, NO CLOSER, KICKPL
	102	3'-0"x7'-0"x1-3/4"	WD	PTD	B	3/4" UC	HM	PTD	H1/J1	-	-	-	PASSAGE LATCHSET, NO CLOSER, KICKPL
	103	3'-0"x7'-0"x1-3/4"	WD	PTD	C	-	HM	PTD	H1/J1	-	-	-	PRIVACY LOCKSET, KICKPL, CLOSER
	104	PR. 2'-0"x7'-0"x1-3/4"	WD	PTD	C	3/4" UC	HM	PTD	H1/J1	-	-	-	LEVER PULL, FRICTION LATCH, NO CLOSER

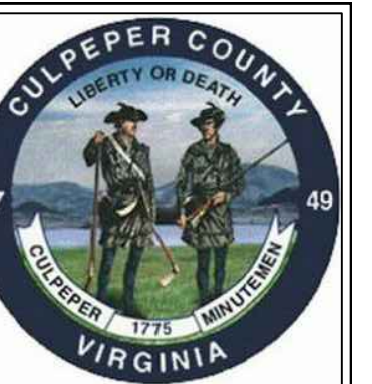
**HARDWARE NOTES / TYPES**

**GENERAL NOTES:**

1. U.N.O. ALL HINGED DOORS TO HAVE SURFACE MOUNTED CLOSERS. PROVIDE CLOSERS WITH HOLD OPEN FEATURES AT NON-RATED STORAGE DOORS.
2. ALL INTERIOR HARDWARE SATIN STAINLESS FINISH.
3. ALL LATCH SETS AND HANDLES TO BE MATCHING LEVER STYLE W/ FULL RETURN.
4. ALL INTERIOR DOORS TO HAVE MINIMUM GRADE 2 COMMERCIAL HARDWARE UNLESS OTHERWISE NOTED.
5. PROVIDE 10" KICKPLATES AT TOILET & CLASSROOM DOORS WHERE INDICATED.
6. EXTERIOR DOORS TO HAVE WEATHERSTRIPPING ALL AROUND W/ SILL SWEEPS. PROVIDE SILL SWEEPS WITH DRIPS AT OUTSWINGING STEEL DOORS WITHOUT OVERHANGS.
7. INSTALL ALL LOCKSETS AS SCHEDULED. KEY ALL EXTERIOR DOORS THE SAME. KEY ALL INTERIOR UTILITY DOORS ALIKE. KEY ALL DOORS TO A MASTER & GRANDMASTER KEY SYSTEM. COORDINATE W/ OWNER.
8. PROVIDE COMMERCIAL BRUSHED STAINLESS STEEL DOOR STOPS AT ALL DOORS - FLOOR MOUNTED WHERE POSSIBLE OR WALL MOUNTED W/ FULL BLOCKING.

**DOOR NOTES**

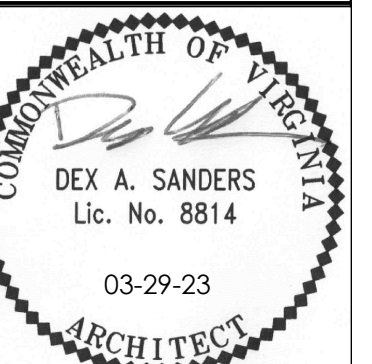
1. ALL DOORS UP TO 7'-0" TALL TO HAVE 1-1/2" PAIR HINGES. DOORS OVER 7'-0" TALL TO HAVE 2 PAIR HINGES. PROVIDE (2) PAIR HINGES FOR 4'-0" WIDE DOORS.
2. UNDERCUT DOORS AS REQUIRED FOR EASE OF OPERATION. ALL DOORS SHALL HANG 1/8" ABOVE FINISHED FLOOR/THRESHOLD EXCEPT DOORS SCHEDULED TO BE UNDERCUT OR SPECIAL ACOUSTIC DOORS.
3. WOOD DOORS: ALL DOORS TO BE REINFORCED FOR CLOSERS. PROVIDE MATCHING WOOD TRIM AT LITES. INTERIOR GLASS TO BE 1/2" - SAFETY AND / OR FIRE RATED WHERE REQUIRED.
4. PROVIDE (3) SILENCERS TYP. AT EACH INTERIOR DOOR AT HOLLOW METAL FRAMES ON THE LATCHING SIDE.



FOR CONSTRUCTION



CULPEPER COUNTY OPTIONS  
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ELEVATIONS

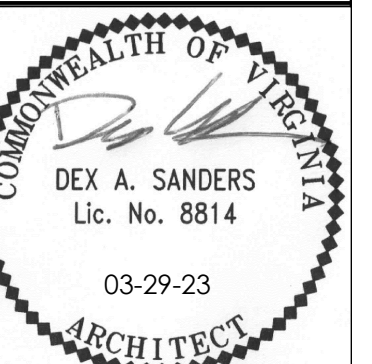
**A8.1**



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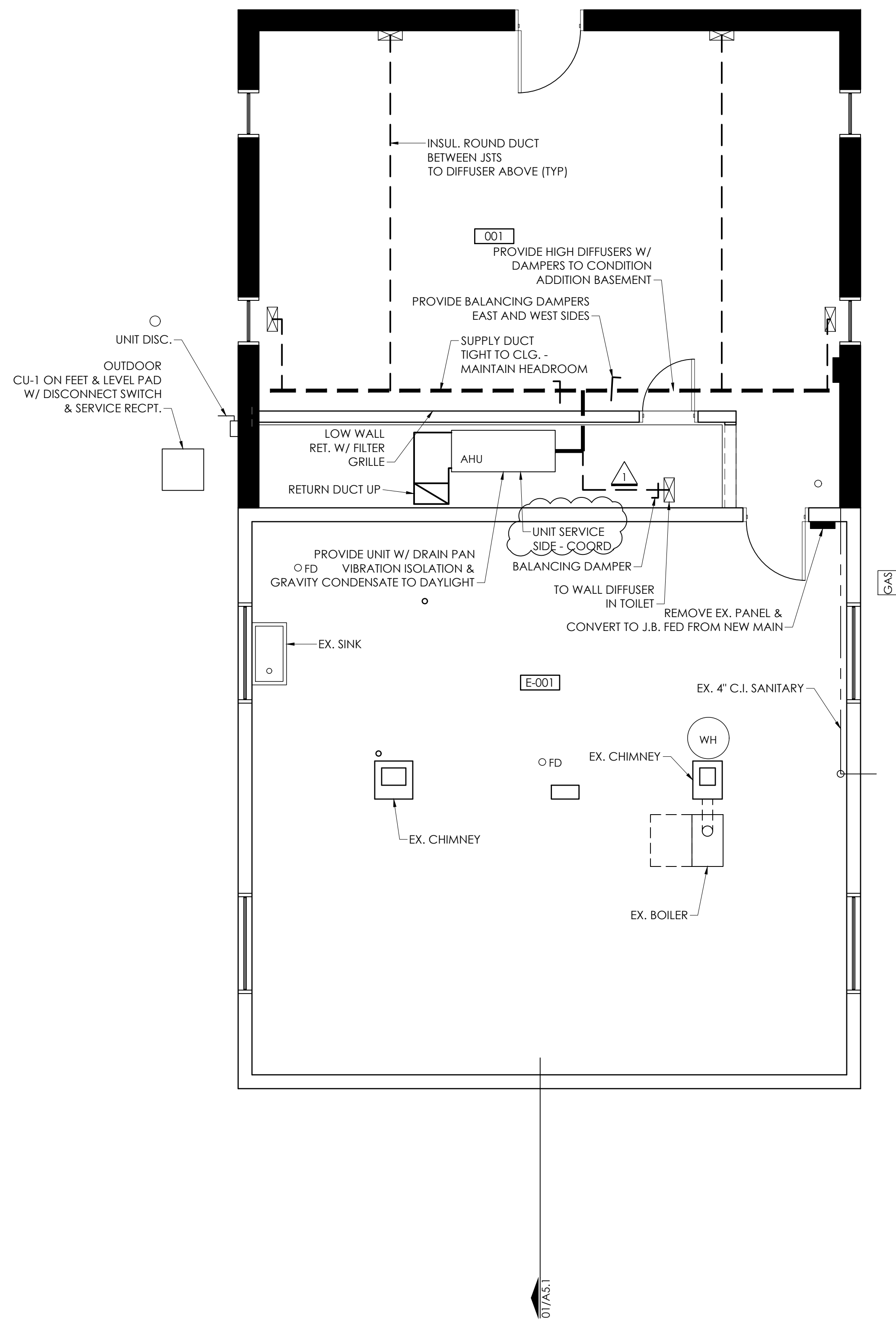
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MECHANICAL PLAN

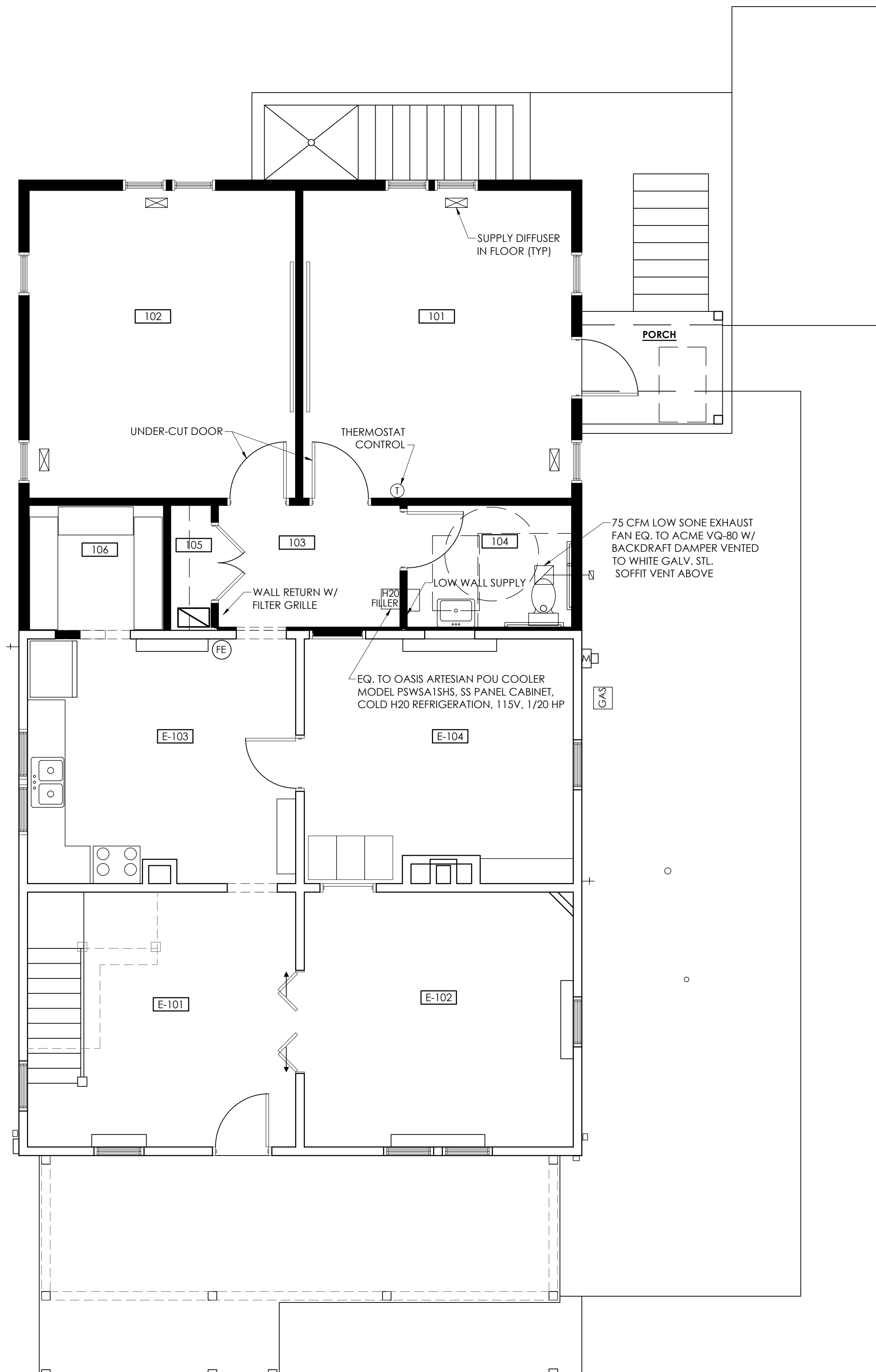
M1.1



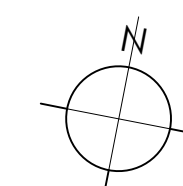
BASEMENT FLOOR MECHANICAL PLAN  
 SCALE: 1/4" = 1'-0"

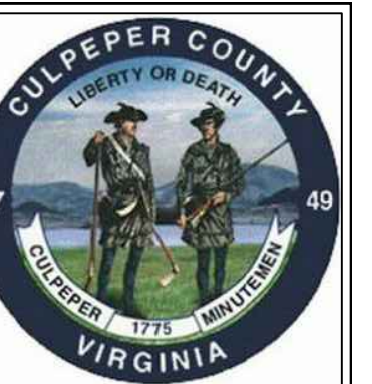
**NEW WORK NOTES**

1. ALL ITEMS ARE EXISTING TO REMAIN U.N.O. IN THE EXISTING PART OF THE STRUCTURE.
2. MECHANICAL PLAN IS PROVIDED TO SHOW BASIC DESIGN INTENT. SYSTEM IS BID AS DESIGN / BUILD. DESIGNER MAY ADJUST UNIT POSITION, LOCATIONS, NUMBER OF DIFFUSERS OR DUCT ROUTING AS REQUIRED AND REVIEWED BY ARCHITECT / OWNER. NOTES BELOW REFLECT OUTLINE DESIGN MINIMUMS AND ARE NOT INTENDED TO BE A COMPREHENSIVE SPECIFICATION.
3. PROVIDE NEW HVAC SYSTEM TO CONDITION THE ADDITION BASEMENT AND MAIN FLOOR LEVEL. THE EXISTING BASEMENT / CELLAR CONDITIONING TO REMAIN. PROVIDE FRESH AIR AS REQUIRED BY CODE.
4. NEW AHU TO BE CARRIER - MIN. 15 SEER, ELECTRIC HEAT, BLOWER TIME DELAY RELAY, R-410A REFRIGERANT, SET OVER PAN WITH FLOAT SWITCH.
5. COMPRESSOR WITH TIME DELAY, CRANKCASE HEATER, REFRIGERANT LINE FILTER DRYER, HIGH AND LOW PRESSURE SWITCHES, RA FILTER & LOW AMBIENT CONTROLS.
6. CONDENSATE - GRAVITY DRAIN TO EXTERIOR
7. REFRIGERANT PIPING: TYPE C&C OR ARC COPPER
8. PROVIDE MIN. MERV 8 RETURNS FOR AIR HANDLING EQUIPMENT.
9. DUCTWORK TO BE GALVANIZED ASTM A527-85, SMACNA STANDARD FOR LOW PRESSURE SYSTEMS UP TO 2" WC, WITH SEALED JOINTS.
10. PROVIDE MANUAL DAMPERS WITH ACCESS DOORS.
11. PROVIDE ALL RELAYS, TRANSFORMERS, CONTROL WIRING, TERMINAL BLOCKS, ETC. FOR A COMPLETE OPERATIONAL SYSTEM.
12. INSULATE DUCTWORK INSIDE BUILDING WITH MINIMUM ONE POUND / CU FT DENSITY 2" FIBERGLASS INSULATION WITH FSK JACKET OR 3/8" FOIL FACED CELL INSUL.
13. PROVIDE PROGRAMMABLE THERMOSTAT.
14. PROVIDE DESIGN DOCUMENTS AND SUBMIT TO COUNTY FOR PERMIT. DESIGN DOCUMENTS SHALL INCLUDE DRAWINGS & ENERGY & FRESH AIR COMPLIANCE DATA AS REQUIRED BY THE COUNTY AND 2018 VCC.
15. AN INTEGRAL PART OF THIS WORK IS TO COORDINATE MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS FOR A COMPLETE, CODE COMPLIANT OPERATIONAL SYSTEM.

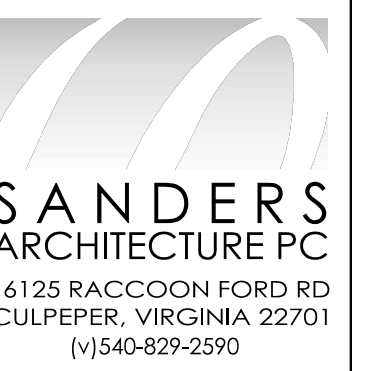


FIRST FLOOR MECHANICAL PLAN  
 SCALE: 1/4" = 1'-0"





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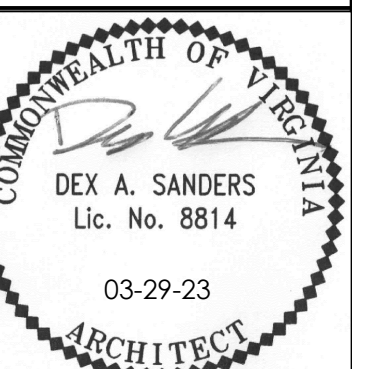


SANDERS ARCHITECTURE PC  
16125 RACCOON FORD RD  
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(540)829-2590

CULPEPER COUNTY OPTIONS

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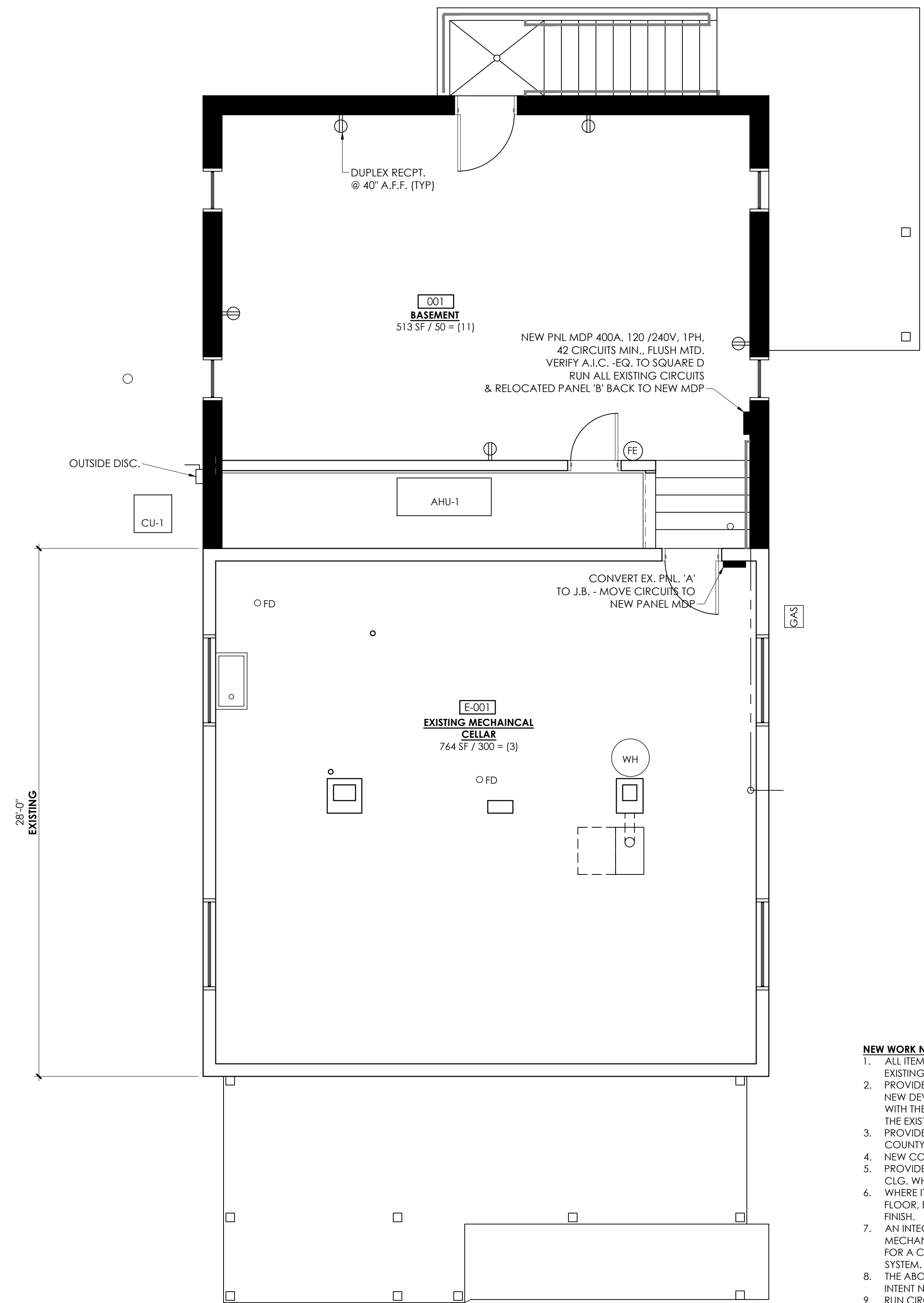
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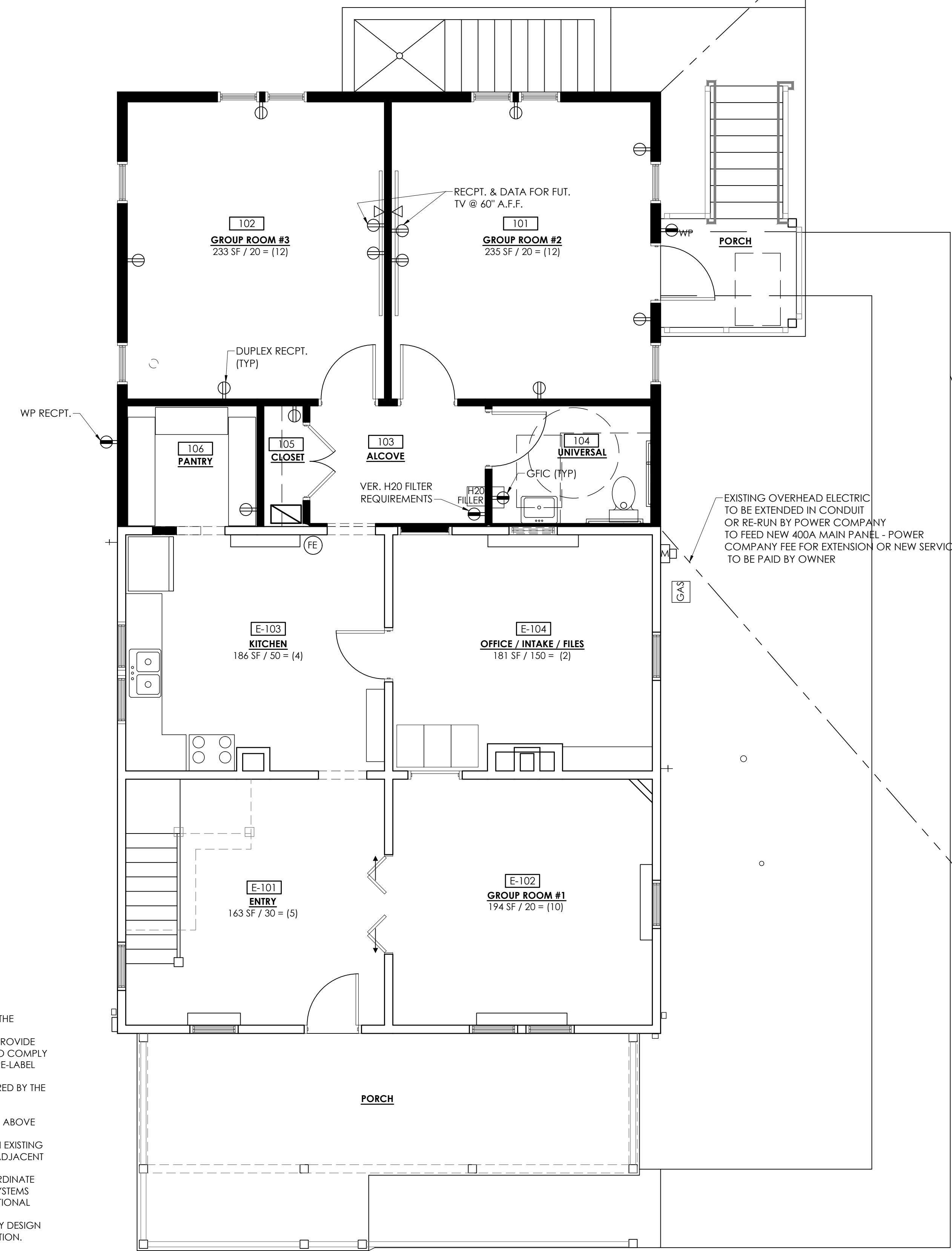
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FLOOR PLAN - POWER

E1.1

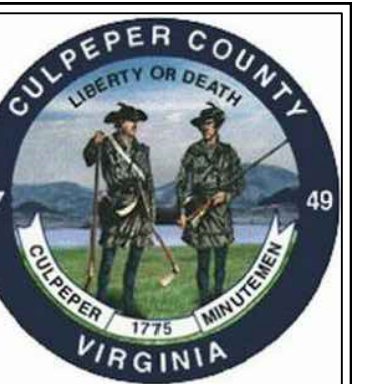


**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

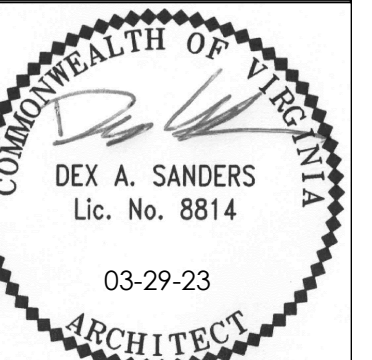
- NEW WORK NOTES**
1. ALL ITEMS ARE EXISTING TO REMAIN U.N.O. IN THE EXISTING PART OF THE STRUCTURE.
  2. PROVIDE NEW RECEPTACLES TO MATCH EX. PROVIDE NEW DEVICES, CIRCUIT BREAKERS & WIRING TO COMPLY WITH THE N.E.C. LABEL THE NEW PANEL AND RE-LABEL THE EXISTING PANELS.
  3. PROVIDE PERMIT SUBMISSION DATA AS REQUIRED BY THE COUNTY & APPLY FOR PERMITS.
  4. NEW COVER PLATES TO BE NYLON WHITE.
  5. PROVIDE EMPTY DATA BOXES W/ CONDUIT TO ABOVE CLG. WHERE DIRECTED BY OWNER.
  6. WHERE ITEMS ARE REMOVED PATCH & MATCH EXISTING FLOOR, BASE, WALLS & CEILINGS TO MATCH ADJACENT FINISH.
  7. AN INTEGRAL PART OF THIS WORK IS TO COORDINATE MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS FOR A COMPLETE, CODE COMPLIANT OPERATIONAL SYSTEM.
  8. THE ABOVE NOTES ARE PROVIDED TO CONVEY DESIGN INTENT NOT AS A COMPREHENSIVE SPECIFICATION.
  9. RUN CIRCUITS AND INSTALL SWITCHES AND RECEPTACLES CONCEALED / RECESSED IN FRAME WALLS



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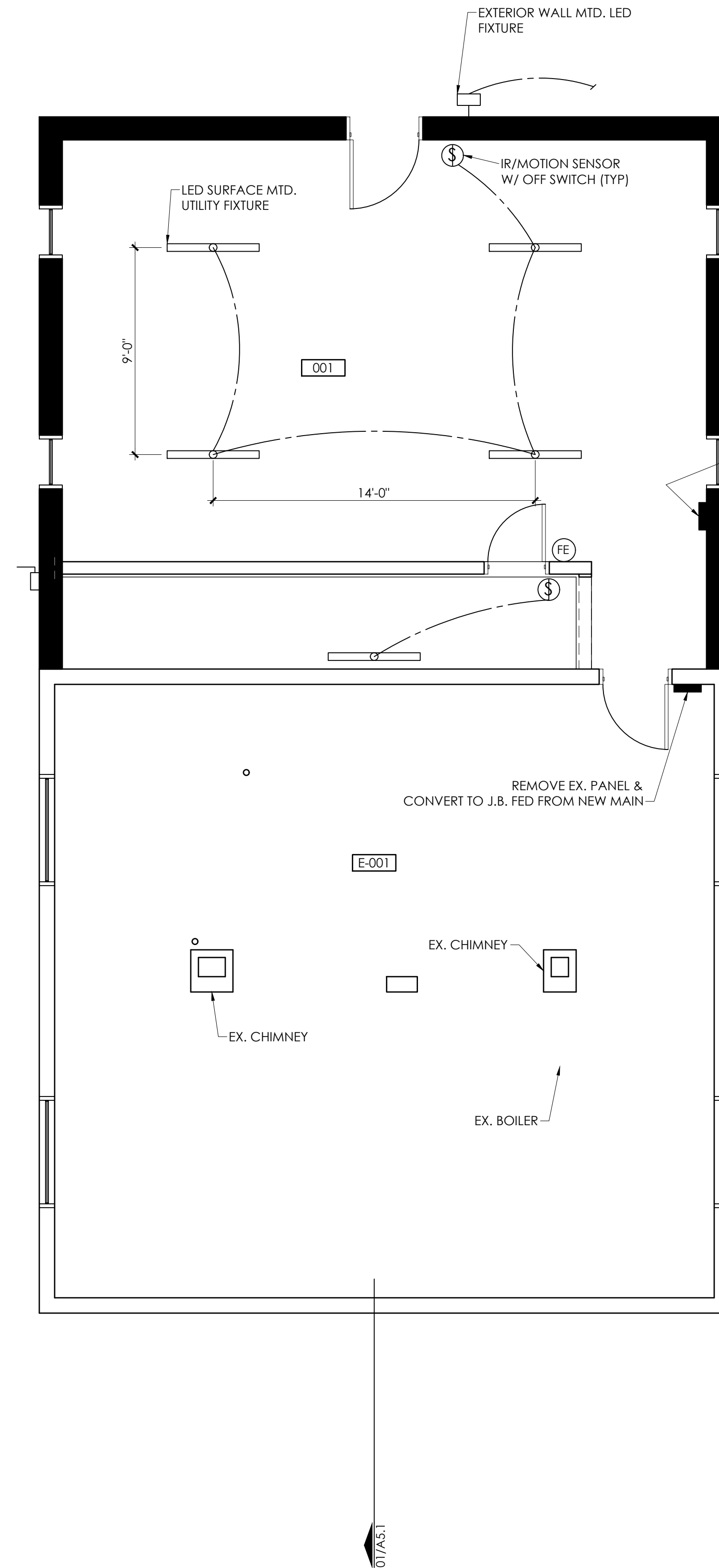
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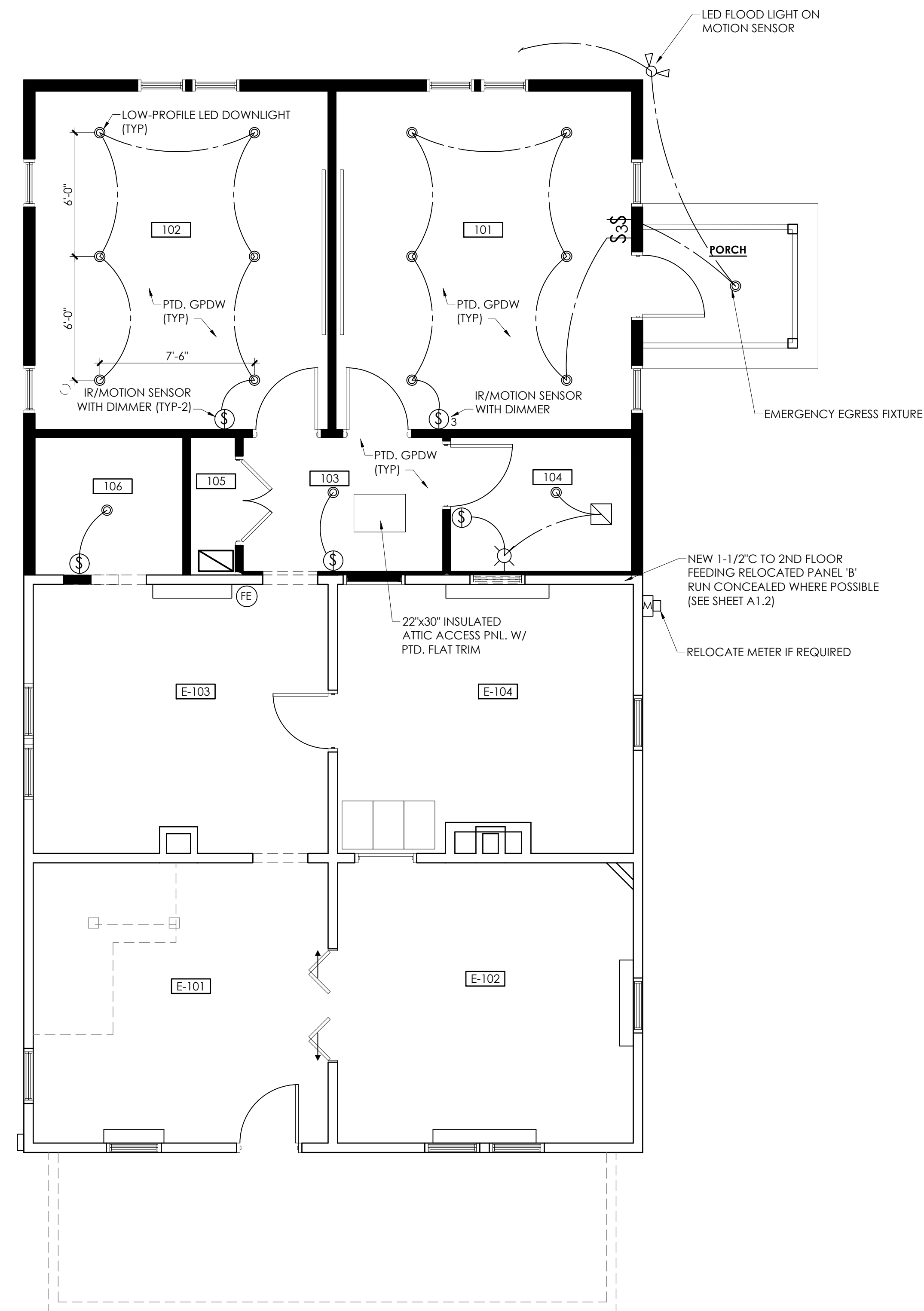
CEILING / LIGHTING PLAN

E2.1



**BASEMENT FLOOR CEILING / LIGHTING PLAN**  
 SCALE: 1/4" = 1'-0"

- NEW WORK NOTES**
1. ALL ITEMS ARE EXISTING TO REMAIN U.N.O. IN THE EXISTING PART OF THE STRUCTURE.
  2. PROVIDE NEW LIGHTING, WIRING AND SWITCHES IN ADDITION. PROVIDE NEW DEVICES, CIRCUIT BREAKERS & WIRING TO COMPLY WITH THE N.E.C. LABEL THE NEW PANEL AND RE-LABEL THE EXISTING PANELS.
  3. PROVIDE LIGHTING DESIGN ENERGY COMPLIANCE DATA AS REQUIRED BY THE COUNTY.
  4. FIXTURE COLOR TO BE WHITE.
  5. PROVIDE EXTERIOR U.L. WET LOCATION RATED FIXTURES ON EXTERIOR.
  6. WHERE ITEMS ARE REMOVED PATCH & MATCH EXISTING FLOOR, BASE, WALLS & CEILINGS TO MATCH ADJACENT FINISH.
  7. AN INTEGRAL PART OF THIS WORK IS TO COORDINATE MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS FOR A COMPLETE, CODE COMPLIANT OPERATIONAL SYSTEM.
  8. THE ABOVE NOTES ARE PROVIDED TO CONVEY DESIGN INTENT NOT AS A COMPREHENSIVE SPECIFICATION.



**FIRST FLOOR CEILING / LIGHTING PLAN**  
 SCALE: 1/4" = 1'-0"